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DOCKET NO. 51407

APPLICATION OF DOS AGUAS, LLC	§	PUBLIC UTILITY COMMISSION
FOR A WATER CERTIFICATE OF	§	
CONVENIENCE AND NECESSITY IN	§	OF TEXAS
WALKER, MONTGOMERY, AND SAN	§	
JACINTO COUNTIES	§	

DOS AGUAS, LLC'S AMENDMENT TO APPLICATION

NOW COMES Dos Aguas, LLC ("Dos Aguas" or "Applicant") and makes this amended application with the Public Utility Commission of Texas ("Commission") to obtain a water certificate of convenience and necessity ("CCN") in Walker, San Jacinto, and Montgomery counties. On April 25, 2022, the administrative law judge ("ALJ") entered Order No. 9, requiring Dos Aguas to file an amended application to include (1) the number of connections that it has current capacity to serve with plant one; (2) the location of the connections it has the facilities and capacity to serve with plant one; (3) the total number of acres in the revised service area that Dos Aguas has the capacity to serve with plant one; and (4) mapping information for the revised requested area required by the Commission rules and needed by Commission Staff to create the applicable CCN service area map by May 27, 2022. Therefore, this pleading is timely filed.

I. MOTION TO ADMIT ADDITIONAL EVIDENCE

On September 10, 2021, Order No. 8 admitted thirteen items into the record of this proceeding. Dos Aguas requests to further admit this, Dos Aguas, LLC's Amendment to Application (including attachments), as evidence into the record as item number fourteen, including the affidavit of Scott Rohe, President, General Manager, and part owner of Dos Aguas, and the following attachments:

- Attachment 1A – TCEQ License Detail of Scott Rohe
- Attachment 1B – TCEQ License Detail of Robert Nettles
- Attachment 1C – TCEQ Conditional Approval of Dos Agua Public Water System
- Attachment 1D – Final Submittal to TCEQ for Water Plant No. 1

Attachment 1E – Map of Deer Forest and Republic Grand Ranch showing location of Customers Requesting Service
Attachment 1F – Customer Requests for Service (Confidential)
Attachment 1G – Approved plats for Deer Forest and Republic Grand Ranch sections 1-5
Attachment 1H – Preliminary plats for sections 6 and 7 submitted to Montgomery County
Attachment 1I – Owners' Financial Statements and Projections (Confidential)
Attachment 1J – Owners' Letters of Credit (Confidential)
Attachment 1K – Mapping Information for the Revised Proposed Service Area
Attachment 1L – Approval for Public Use Letter from TCEQ for Water Plant No. 1
Attachment 1M – TCEQ Approval for Construction Letters

II. AMENDMENT TO APPLICATION

Pursuant to Order No. 9, Dos Aguas amends its application to obtain a water CCN with the reduced service area needed to serve current customers and anticipated requests for service, up to 583 connections. As supported by the attached affidavit of Scott Rohe, President, General Manager, and part owner of Dos Aguas, Water Plant No. 1 has the capacity to serve 583 connections. Dos Aguas is requesting a reduced proposed service area of 2,710 acres and is attaching a revised service area map that has been developed in coordination with Commission Staff's mapping department. The customers requesting service and anticipated to request service in the next year are located throughout the revised proposed service area, as shown on Attachment 1E, as they purchase lots and build homes. The area consists of more than 583 lots. However, in order to provide service to each customer requesting service, while maintaining economic and affordable service, Dos Aguas requests that the Commission approve the reduced proposed service area and limit the certificate of convenience and necessity to 583 connections. Dos Aguas will file an application for an amendment to its CCN to expand the service area or to add additional capacity and customers in excess of 583 connections as the need arises.

There does not seem to be any dispute that the proposed water facilities and distribution system is the most economic and efficient means of providing water service to the proposed service

territory. The proposed service area is a slow growth community where potential residents purchase lots for potential residential use (or to hold as investment) and develop the lots on their own timeline. Consistent with the growth experienced in similar developments, service requests are expected at a rate of approximately 8 per month, or 96 per year. The expected rate of growth is consistent with the growth experienced in the last six months of 38 service requests. Currently, Dos Aguas is providing water service to connections at no charge as the CCN and tariff have not yet been approved, which is not sustainable.

At the anticipated rate of growth, water plant number one will be capable of providing service to all service requests for more than five years. However, customers may choose their own lots anywhere in the proposed service area. Reducing the service area any further may not permit Dos Aguas to serve certain customer service requests under the proposed CCN and tariff as required by the agreement with the developers. ***This would result in stranded water customers.***

Dos Aguas' proposed solution to limit the CCN to 583 connections will permit customers to receive water under the CCN and require Dos Aguas to file for an amendment to the CCN periodically at any time that additional service territory is requested or additional plant and connections in excess of 583 are anticipated. However, further reducing the CCN service area and phasing in CCN amendments may add substantial additional costs to the system for each additional CCN amendment required. By way of comparison, the gross invested capital in Water Plant Number 1 is approximately \$500,000. ***Each CCN amendment for each new water plant could increase the ultimate costs by 20% or more in regulatory expenses.***

Dos Aguas proposal is a reasonable means of addressing the Commission's concern regarding limiting the CCN to the number of connections capable of being serviced by Water Plant No. 1, while permitting each customer in the community to be provided water service in a cost

efficient and effective manner with growth. *Any requirement to further segment the service area would potentially strand customers and substantially increase costs to consumers.*

In addition to the reduced service area, the affidavit of Scott Rohe provides the current status of the public water system as approved for use by the Texas Commission on Environmental Quality (“TCEQ”), provides the current requests from customers, and attests to the technical, managerial, and financial capability of Dos Aguas and its employees.

A. Technical and Managerial Capability

Dos Aguas was formed by Scott Rohe and Jacob Slott to be a water utility providing superior customer service and high-quality water at affordable rates for the subdivisions of Deer Forest and Republic Grand Ranch currently under development. Dos Aguas is not affiliated with any development company. Dos Aguas has 5 dedicated contract employees and is standing ready to provide regulated water utility service to its customers. Scott Rohe and Robert Nettles, the secondary manager of Dos Aguas, are both licensed water operators with over 50 years of combined experience constructing, maintaining, and operating public water systems in the State of Texas. The public water systems constructed and operated by Scott Rohe and Robert Nettles are in good standing with the Texas Commission on Environmental Quality (“TCEQ”) and are similar in size to the proposed water system of Dos Aguas.

Dos Aguas has received conditional approval for construction of its water facilities from TCEQ,¹ and approval for use of Water Plant No. 1.² Dos Aguas has invested approximately \$810,000 to date, has completed construction of Water Plant No. 1, and has completed 100% of its distribution system in sections 1-5 and Deer Forest. Sections 6 is ongoing and is expected to be completed by July 10, 2022. The distribution system through section 9 is expected to be completed by the end of 2022. The water system is fully functional and capable of providing service today to customers requesting service. Dos Aguas has tested the water capacity and water quality and both are well within TCEQ operating and safety standards. Dos Aguas has submitted its first water quality report on December 17, 2021, and received a letter of approval for use from TCEQ on April 12, 2022.

B. Need for Service and the Service Area

The customers requesting service from Dos Aguas, whose numbers are increasing monthly, have an imminent need for water service. Although all anticipated customers will not materialize in the next few years, the system is designed and is being constructed in phases in order to meet the needs of customers as they materialize in an economic and efficient method. This method of phasing construction has worked well in the prior water systems developed, constructed and managed by Scott Rohe and Robert Nettles over the past 19 years.

¹ As Commission Staff discussed in Response to Order No. 6, "Commission precedent supports the approval of a CCN application when an applicant has received conditional approval from the TCEQ and satisfies all other applicable requirements." See *Application of Summit Ridge, LLC for a Water Certificate of Convenience and Necessity in Medina County*, Docket No. 47463, Application at 113-114 (Aug. 1, 2017) (conditionally approving the project hinged on six additional requirements) and Notice of Approval (June 25, 2018); *Application of the Ridge at Frio River Water Company, LLC for a Water Certificate of Convenience and Necessity in Real County*, Docket No. 43183, Request to File TCEQ Approvals at 2 (Aug. 17, 2015) (conditionally approving the project hinged on four additional requirements) and Order at Finding of Fact No. 22 (May 6, 2016); *Application of Petra Pirma Development Group, Inc. for a Water Certificate of Convenience and Necessity in Tom Green County*, Docket No. 41093, CCN Addendum-TCEQ Construction Plan Approval at 2-3 (Aug. 21, 2017) (conditionally approving the project hinged on two additional requirements) and Notice of Approval at Conclusion of Law No. 5 (June 14, 2018).

² See Attachment 1L.

Dos Aguas filed its application nineteen months ago to ensure proper certification by Commission at the time customers would be requesting service and completing construction on their homes in the Deer Forest and Republic Grand Ranch subdivisions. As the Commission is likely aware, applications for new water CCNs have typically taken ten to eighteen months for approval.³ In addition, public water systems take multiple months to design, construct, and receive approval from TCEQ. Dos Aguas has specifically coordinated all necessary processes and approvals to be able to serve customers by the time they come online, which is now. This Commission has historically approved water CCNs prior to any customer coming online, and even prior to completion of a water system.⁴

To date, Dos Aguas has an imminent need to provide service for 38 requests for service from customers interconnected to Dos Aguas' public water system. The Deer Forest and Republic Grand Ranch subdivisions developments are owned by Republic Grand Ranch LLC and are unaffiliated with Dos Aguas. Republic Grand Ranch has sold 637 lots to date with 42 new home applications. Deer Forest has sold 88 lots. The developments are 75% platted with streets and utilities installed to 50% of lots.

As stated above, there is a need for service throughout the entire service area as it is currently being developed and each section through section 9 is anticipated to be completed and ready for residential move in within 7 months, which is less than the typical processing period for a new CCN application. Dos Aguas has the technical, managerial, and financial ability to serve the

³ See *Application of Summit Ridge, LLC for A Water Certificate of Convenience and Necessity in Medina County*, Docket No. 47463, Notice of Approval (10 months); *Application of Vineyard Ridge, LLC to Obtain a Water Certificate of Convenience and Necessity in Gillespie County*, Docket No. 46948, Order at FoF 3 (18 months).

⁴ See *Summit Ridge*, Docket No. 47463, Notice of Approval at Finding of Fact ("FoF") 36 ("The requested area will be a residential development with 195 single-family homes that will need water utility service."); *Vineyard Ridge*, Docket No. 46948, Order at FoF 3 ("Vineyard Ridge proposes a service area of approximately 660 acres in Gillespie County with no current customers. Vineyard Ridge plans to develop the requested service area as a residential subdivision with 160 lots and a centralized, public water system").

entire area. However, as requested by the Commission, Dos Aguas is proposing a reduced service area to serve current customers requesting service and will request an amendment to its CCN to enlarge the service area and add customers as needed.

C. Financial Capability

Dos Aguas has the financial capability under the Commission's CCN rule and if needed may obtain whatever additional financial assurance the Commission may deem appropriate. The Commission's Rules, 16 TAC § 24.227(e)(6), require the Commission to consider the financial ability of the applicant to pay for the facilities necessary to provide continuous and adequate service and the financial stability of the applicant, including, if applicable, the adequacy of the applicant's debt-equity ratio.⁵

Dos Aguas has more than sufficient financial capability to meet the requirements of the rule as it is 100% equity and contribution financed with 0% debt.⁶ The assets of Dos Aguas total \$5,908,999 in gross investment to date in the public water system's production and distribution system.⁷ Because Dos Aguas has no debt, it will have a sufficient debt coverage ratio once it is permitted to charge rates to customers as a result of this proceeding.⁸ Dos Aguas also has sufficient unrestricted cash available as a cushion for two years debt service.⁹ In addition, the owners of Dos Aguas have demonstrated that sufficient cash is available to cover any projected operation and maintenance shortages in the first five years of operations.¹⁰ Dos Aguas has also submitted firm capital commitments from its owners affirming funds are available to install substantial additions to the water system to serve projected customers in the first two years of projections.¹¹

⁵ 16 TAC § 24.227(e)(6).

⁶ See Attachment II (Confidential).

⁷ See Attachment I & Attachment II (Confidential).

⁸ See 16 TAC § 24.11(e)(2)(B).

⁹ See 16 TAC § 24.11(e)(2)(C). See also Confidential Attachments II & IJ.

¹⁰ See 16 TAC § 24.11(e)(3). See also Confidential Attachments II & IJ.

¹¹ See 16 TAC § 24.11(e)(5)(A) & (B). See also Confidential Attachments II & IJ.

D. Mapping

Dos Aguas is submitting separately a reduced proposed CCN Service Area map developed in coordination with the Commission's mapping department. Also included as an attachment hereto are engineering and facilities maps developed in coordination with Staff and engineering and facilities maps submitted to TCEQ as part of its water facility certification, as well as approved platting of the subdivisions, and platting submitted for approval, which approval is expected to be received in the next couple weeks.

III. CONCLUSION AND PRAYER

Therefore, Dos Aguas respectfully requests that the Commission admit the following evidence and grant the requested CCN with the amended service area.

Respectfully submitted,

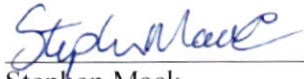
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Attorneys for Dos Aguas, LLC

CERTIFICATE OF SERVICE

It is hereby certified that a copy of the foregoing has been served by email on all parties of record who have provided an email address on this the 27th day of May 2022, in accordance with the Commission's Second Order Suspending Rules, issued on July 16, 2020, in Project No. 50664.


Stephen Mack

Attachment A

PUC DOCKET NO. 51407

APPLICATION OF DOS AGUAS, LLC	§	BEFORE THE
FOR A WATER CERTIFICATE OF	§	
CONVENIENCE AND NECESSITY IN	§	PUBLIC UTILITY COMMISSION
WALKER, AND MONTGOMERY	§	
COUNTIES	§	OF TEXAS

AFFIDAVIT OF SCOTT ROHE

STATE OF TEXAS §
§
COUNTY OF WALKER §

Before me, the undersigned authority, on this day personally appeared Scott Rohe, being by me first duly sworn, on oath deposed and said the following:

1. My name is Scott Rohe. I am of legal age and a resident of the State of Texas. I certify that the foregoing testimony is true and correct to the best of my knowledge and belief.
2. I am attaching true and correct copies of the following documents in support of my affidavit and the Application of Dos Aguas, LLC ("Dos Aguas") for Approval of a Certificate of Convenience and Necessity ("CCN"):

Attachment 1A – TCEQ License Detail of Scott Rohe
Attachment 1B – TCEQ License Detail of Robert Nettles
Attachment 1C – TCEQ Conditional Approval of Dos Aguas Public Water System
Attachment 1D – Final Submittal to TCEQ for Water Plant No. 1
Attachment 1E – Map of Deer Forest and Republic Grand Ranch showing location of Customers Requesting Service
Attachment 1F – Customer Requests for Service (Confidential)
Attachment 1G – Approved plats for Deer Forest and Republic Grand Ranch sections 1-5
Attachment 1H – Preliminary plats for sections 6 and 7 submitted to Montgomery County
Attachment 1I – Owners' Financial Statements (Confidential)
Attachment 1J – Owners' Letters of Credit (Confidential)
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Attachment 1M – TCEQ Approval for Construction Letters

Technical and Managerial Ability

3. I am the President and General Manager of Dos Aguas, LLC ("Dos Aguas"). I hold a class C groundwater operator license number WG0018579. See Attachment 1A. I have over 19 years of experience in utility construction and handling large and small water system distribution expansion, new plant construction, plant rehab and additions, and emergency service work for numerous utility districts. I am also the General Manager and perform all contracted water operations for Phelps S.U.D., a water system of 650 connections.
4. Robert Nettles is the secondary manager of Dos Aguas. Mr. Nettles holds several licenses including a Class A water operator License, a wastewater treatment Operator B license, and is a customer service inspector and backflow prevention assembly inspector. See Attachment 1B. Mr. Nettles has 33 years of experience in the water delivery industry including managing public water systems comparable in size or larger than Dos Aguas at full capacity. Mr. Nettles is also an officer on the board of the Texas Rural Water Association.
5. Dos Aguas has invested approximately \$810,000 to date in the design, planning, and construction of its public water system. The current facilities installed are capable of delivering superior quality water at pressures more than sufficient to meet customers anticipated needs for the next 3 years. Water Plant No. 1, which is operational, has been approved for use by the Texas Commission on Environmental Quality ("TCEQ") and is capable of providing service to 583 connections. This investment and the day to day operations are paid out of pocket without incurring any debt.
6. Dos Aguas currently has 5 dedicated contract employees including Mr. Nettles and me to manage the technical operations, crew to manage installation and maintenance, and office staff to manage the day to day administrative and billing activities. Dos Aguas acquired and installed all software in order to run the system.
7. With the second well already drilled and to be completed within the next two months, and the completion of the ground water storage tanks, Dos Aguas will be capable of providing superior quality water at pressures more than sufficient to meet customers' anticipated needs for the next 6 years.
8. The final phase of Dos Aguas' construction plans will be to install a third well and facilities. With this additional capacity, Dos Aguas will be capable of providing superior quality water at pressures more than sufficient to meet customers' anticipated needs for the originally proposed service area. However, given the anticipated capacity needs over the next 6 years, Dos Aguas does not plan on adding the final well and facilities until capacity is needed in order to right size the system and economically serve its customers.

9. Pursuant to the Commission's request, Dos Aguas has reduced its proposed service area to only encompass an area sufficient to serve current customers and customers requesting service up to 583 connections. Dos Aguas will file an amended application to increase the service area, water capacity, and customers as the need arises. The reduced service area is provided in Attachment 1K, Mapping Information for the Revised Proposed Service Area developed in coordination with the Commission's mapping department.

Water Capacity

10. Dos Aguas has received conditional approval from the Texas Commission on Environmental Quality ("TCEQ") for its public water system, TCEQ Public Water System Identification Number 1700917. See Attachment 1C.
11. Dos Aguas has completed Water Plant No. 1, located in section 3 of Republic Grand Ranch. Water Plant No. 1 has received approval for use from the TCEQ on April 12, 2022. See Attachment 1L. After the pump test was performed, the well was able to easily produce double the water as designed and safely pump 350 GPM and is capable of serving 583 connections.
12. A 20,000-gallon fiberglass ground storage tank has been purchased and installed. This is a temporary tank to handle the needs of customers ready for service, anticipated through year 2022, as we wait on the delivery of a new 80,000-gallon ground storage tank that is already paid for, is being built currently, and expected to be erected and will be put into use in the next three weeks.
13. Additionally, booster pump setups and automatic well controls have already been brought in and are running to serve construction water for road contractors. Two 5000-gallon pressure tanks have already been purchased for this plant and one is already plumbed in and functional, which is larger than the minimum pressure tank required in the TCEQ approved design and approved by the engineers.
14. For Water Plant No. 2, the well has been approved to drill by the Lone Star Groundwater Conservation District. The well has been contracted to be drilled and is waiting on testing and analysis. Three phase power has been made available and Water Plant No. 2 is expected to be operational within months. The majority of this well has been paid for.
15. Preliminary engineering for Water Plant No. 3 has already occurred, facilities have been designed and located within the system based on hydraulic studies. However, Water Plant No. 3 will not be constructed and installed until the need is more imminent in an effort to minimize costs to customers.

Water Quality

16. For Water Plant No. 1, testing and water samples have been done on the public well and submitted to TCEQ for final water approval, attached here as Attachment 1D. We have received a letter of approval for use from TCEQ. See Attachment 1K. Dos Aguas has well-prepared for the use and operation of Water Plant No. 1. Backup diesel powered electric generation has also been purchased for this well site.
17. Upon completion of Water Plant No. 2, Dos Aguas will take every effort necessary to conform the quality of water to exceed TCEQ standards and meet Dos Aguas exceptional service and quality standards. Dos Aguas does not anticipate any water quality issues with Water Plant Nos. 2 or 3 given the water quality of Water Plant No. 1 and the preliminary engineering of both wells are similar to Water Plant No. 1 and will be taking water from the same general source.
18. Dos Aguas also has operating procedures for testing and treating water from its wells to ensure that the water exceeds TCEQ water quality standards before entering the distribution system.

Distribution System

19. The distribution system has made significant progress in the subdivision. Over 136,000 feet of water main has been installed for this system. Sections 1-5 have been 100% completed flushed and sanitized and are ready for use. Deer Forest is installed. Sections 6 and 7 have already been purchased and paid for. Construction of section 6 is underway. The distribution system through section 9 is expected to be completed by the end of 2022.

CCN Service Area and Requests for Service

20. Dos Aguas has received 38 requests for service from customers, in addition to requests from developers, who have purchased lots and are in the design and construction phase for their homes. See Attachments 1E & 1F. The need for certification of Dos Aguas service area is imminent to serve these customers, all future residents of the Deer Forest and Republic Grand Ranch subdivisions, as well as the subdivisions themselves. Republic Grand Ranch has sold 637 lots to date with 42 new home applications. Deer Forest has sold 88 lots.
21. Pursuant to direction from the Commission, Dos Aguas requests a reduced service area to provide service to all current customers and requests for service. The reduced service area is provided in Attachment 1K. Dos Aguas amends its application for a CCN to provide service to the requested service area up to 583 connections.

22. The proposed service area is a slow growth community where potential residents purchase lots for potential residential use (or to hold as investment) and develop the lots on their own timeline. Consistent with the growth experienced in similar developments, service requests are expected at a rate of approximately 8 per month, or 96 per year.
23. The expected rate of growth is consistent with the growth experienced in the last six months of 38 service requests. Currently, Dos Aguas is providing water service to connections at no charge as the CCN and tariff have not yet been approved which is not sustainable.
24. At the anticipated rate of growth, water plant number one will be capable of providing service to all service requests for more than five years. However, customers may choose their own lots anywhere in the proposed service area.
25. Reducing the service area any further may result in stranded water customers if DOS Aguas is not permitted to serve certain customer service requests under the proposed CCN and tariff as required by the agreement with the developers.
26. Dos Aguas' proposed solution to limit the CCN to 583 connections will permit customers to receive water under the CCN and require Dos Aguas to file for an amendment to the CCN periodically at any time that additional service territory is requested or additional plant and connections in excess of 583 are anticipated.
27. However, requiring a reduced CCN service area and phasing in CCN amendments may add substantial additional costs to the system for each additional CCN amendment required. By way of comparison, the total invested capital in Water Plant Number 1 is approximately \$500,000. Each CCN amendment for each new water plant could increase the ultimate costs by 20% or more in regulatory expenses.
28. Dos Aguas proposal is a reasonable means of addressing the Commission's concern regarding limiting the CCN to the number of connections capable of being serviced by Water Plant No. 1, while permitting each customer in the community to be provided water service in a cost efficient and effective manner with growth.
29. Any requirement to further segment the service area would potentially strand customers and substantially increase costs to consumers.
30. Deer Forest is a subdivision in Walker County with approximately 290 one acre lots available upon buildout for owners to construct on their own lots to their desired specifications. Republic Grand Ranch is the second subdivision spanning into Montgomery County with 1,800 to 1,900 one-and-a-half to two acre lots for owners to construct on their own lots to their desired specifications. Both subdivisions are divided into 12 different sections as displayed in Attachment 1E, a map of the area. Republic Grand Ranch contains sections 1-11 while Deer Forest contains section 12.
31. Dos Aguas has designed its water system and distribution facilities to be able to provide looped service to the entire area in order to ensure that sufficient pressures may be

maintained at all points on the system in the most efficient and cost-effective manner. Thus, whether or not there are customers requesting service at any point of the distribution system, Dos Aguas will be capable of providing service at each potential point of connection. And to be able to provide service to one portion of the distribution system requires the ability to provide service to the entirety of the looped distribution system.

32. The plans for the majority of the subdivision have almost all been approved. For the Deer Forest section of this subdivision, all the construction plans have been approved through Walker County. Sections 1-7 of the Republic Grand Ranch subdivision have received full construction approval from Montgomery County. Sections 8 and 9 are pending approval at Montgomery County currently. Sections 8, 9, and 10 have been submitted and section 11 is expected to be submitted on June 15, 2022. Based on past previous approval timelines at Montgomery County, all construction plans may be approved by August 1, 2022.
33. Platting has been completed for the majority of the subdivisions. Plats for Deer Forest have been fully approved by Walker County. Plats for sections 1-7 of Republic Grand Ranch have been approved through Montgomery County. Plats for section 8 have been submitted to Montgomery County and pending approval. See Attachment 1G for the approved plats for Deer Forest and Republic Grand Ranch sections 1-7. See Attachment 1H for the preliminary plats for sections 6 and 7 that have been submitted to Montgomery County.

Financial Capability

34. Dos Aguas has the financial capability to meet construction requirements and sustain operations for the first 5 years while customers come online and the operations become profitable.
35. Dos Aguas meets the Commission's leverage test and the operations test found in the Commission's rules, as recommended by Staff witnesses. See also Attachment 1I, Financial Statements.
36. Dos Aguas has completed approximately \$810,000 of its total estimated \$1,437,280 investment, funded 100% with owners' equity and no debt.
37. Dos Aguas' gross investment in the public water system totals \$5,908,999 funded entirely by equity and contributions. Thus, Dos Aguas' capital structure is 100% equity and 0% debt.
38. In order to guarantee the financial ability to provide service during the first five years, the owners of Dos Aguas have secured letters of credit totaling in excess of \$1,250,000, which is more than sufficient to cover operations for the first five years. See Attachment 1J Letters of Credit.

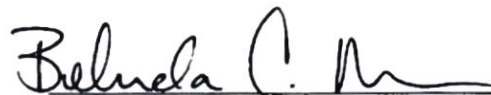
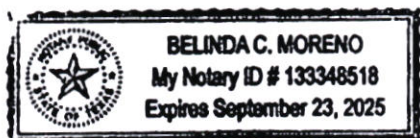
Further, Affiant sayeth not.



Scott Rohe

SWORN AND SUBSCRIBED before me on this the 26th day of May, 2022.

(seal)



Notary Public, State of Texas

Attachment 1

Attachment 1A

TCEQ Search Licensing or Registration Information

License Detail

To report a change of address, phone number, or email address, please fill out the form located at <http://www.tceq.texas.gov/licensing/forms/contactupdate>.

CN: CN602168262
Name: ROHE, SCOTT S
Address: 321 DORRELL RD
City: HUNTSVILLE
State: TX
ZIP: 77340-2608
County: WALKER
Work Phone: 936-661-2210

License(s)

There were 8 licenses found.

Program	License Type and Level	License Number	Last Issued Date	Exp. Date	License Status	CE Hours
OSSFOL	OSSF MAINTENANCE PROVIDER	MP0001718	03/17/2020	05/31/2023	CURRENT	16
OSSFOL	OSSF INSTALLER II	OS0022458	03/03/2021	03/31/2024	CURRENT	8
WATEROL	GROUND WATER TREATMENT OPERATOR C	WG0018579	11/23/2020	11/23/2023	CURRENT	16
OSSFOL	OSSF INSTALLER I	OS0018913	01/09/2004	03/30/2005	EXPIRED	N/A
OSSFOL	OSSF MAINTENANCE PROVIDER	MP0001153	02/13/2007	02/28/2009	EXPIRED	N/A
WATEROL	WATER OPERATOR D	WO0012480	05/07/2003	05/07/2005	EXPIRED	N/A
CSIOL	CUSTOMER SERVICE INSPECTOR	N/A	N/A	N/A	PENDING	N/A
WATEROL	GROUND WATER TREATMENT OPERATOR C	N/A	N/A	N/A	VOID	N/A

Note: The number of CE hours needed in order to renew a license is based on the term (length) of each license. Please go to the program page for the license you hold to determine the number of CE hours needed and to view the latest information and renewal requirements for your license.

Application(s) within the Last 2 Years

There were 4 applications found.

Program	Type and Level	App. Type	App. Status	App. Review Date	App. Expiration Date	Deficiency Letter Date	Total Hours
OSSFOL	OSSF INSTALLER II	RENEWAL	LICISSUED	03/03/2021	04/30/2021	No Deficiency	191
OSSFOL	OSSF MAINTENANCE PROVIDER	RENEWAL	LICISSUED	03/17/2020	06/30/2020	No Deficiency	191
WATEROL	GROUND WATER TREATMENT OPERATOR C	NEW	LICISSUED	10/27/2020	10/27/2021	No Deficiency	116
CSIOL	CUSTOMER SERVICE INSPECTOR	NEW	APPROVED	12/16/2021	12/16/2022	No Deficiency	16

Course(s)

There were 36 courses found. **Note:** You may see the same course listed multiple times. This occurs because the course counted towards multiple license programs.

Program	Course Title	Course Code	Hours	Date	Provider
BPATOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	07/13/2021	TRWA
CSIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	07/13/2021	TRWA
LIOL	ELECTRICAL WIRING & CONNECTIONS (ETS)	311	8.0	12/16/2021	ETS
LIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	07/13/2021	TRWA
LIOL	TRBLSHT & REPAIR ATU, CONTROLS, SPRAY OR DRIP	904	8.0	11/14/2018	ETS
LIOL	ELECTRICAL WIRING & CONNECTIONS (ETS)	311	8.0	06/27/2017	ETS
LIOL	ELECTRICAL WIRING & CONNECTIONS (ETS)	311	8.0	04/26/2017	ETS
LIOL	TRBLSHT & REPAIR ATU, CONTROLS, SPRAY OR DRIP	904	8.0	03/04/2015	ETS
LIOL	COMPETITIVE EDGE IN BUS 4 FINANCIAL SUC(CLASSROOM)	958	8.0	01/13/2012	ETS
LIOL	TRBLSHT & REPAIR ATU, CONTROLS, SPRAY OR DRIP	904	8.0	02/20/2009	ETS
OSSFOL	ELECTRICAL WIRING & CONNECTIONS (ETS)	311	8.0	12/16/2021	ETS
OSSFOL	(CRSPD) COMPETIT EDGE IN BUS 4 FINANC SUC (OSSF)	229	8.0	01/22/2021	ETS
OSSFOL	INSTALL, O&M OF SUBSURFACE DRIP DISPOSAL SYST(ETS)	1134	8.0	11/19/2019	ETS

OSSFOL	TRBLSHT & REPAIR ATU, CONTROLS, SPRAY OR DRIP	904	8.0	11/14/2018	ETS
OSSFOL	ELECTRICAL WIRING & CONNECTIONS (ETS)	311	8.0	06/27/2017	ETS
OSSFOL	ELECTRICAL WIRING & CONNECTIONS (ETS)	311	8.0	04/26/2017	ETS
OSSFOL	(CRSPD) COMPETIT EDGE IN BUS 4 FINANC SUCC (OSSF)	229	8.0	04/25/2017	ETS
OSSFOL	TRBLSHT & REPAIR ATU, CONTROLS, SPRAY OR DRIP	904	8.0	03/04/2015	ETS
OSSFOL	INSTALL, O&M OF SUBSURFACE DRIP DISPOSAL SYST(ETS)	1134	8.0	05/21/2014	ETS
OSSFOL	(CRSPD) COMPETIT EDGE IN BUS 4 FINANC SUCC (OSSF)	229	8.0	04/15/2014	ETS
OSSFOL	COMPETITIVE EDGE IN BUS 4 FINANCIAL SUC(CLASSROOM)	958	8.0	01/13/2012	ETS
OSSFOL	ADVANCED AEROBIC MAINTENANCE (AMP)	434	16.0	04/20/2011	TOWA
OSSFOL	TRBLSHT & REPAIR ATU, CONTROLS, SPRAY OR DRIP	904	8.0	02/20/2009	ETS
OSSFOL	ON-SITE INSTALLER II	418	8.0	02/12/2009	TEEX ITSI
OSSFOL	BASIC MAINTENANCE PROVIDER	656	16.0	08/25/2006	TOWA
OSSFOL	ON-SITE INSTALLER II	418	21.0	01/12/2006	TEEX ITSI
OSSFOL	ON-SITE INSTALLER II	418	21.0	03/17/2005	TEEX ITSI
OSSFOL	ON-SITE INSTALLER I	417	13.0	12/17/2003	TEEX ITSI
WATEROL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	07/13/2021	TRWA
WATEROL	GROUNDWATER PRODUCTION	223	20.0	10/28/2015	TECS
WATEROL	GROUNDWATER PRODUCTION	223	20.0	07/15/2009	TRWA
WATEROL	GROUNDWATER PRODUCTION	223	20.0	02/17/2005	TEEX ITSI
WATEROL	(CORE) WATER DISTRIBUTION	605	20.0	05/20/2004	TEEX ITSI
WATEROL	(CORE) BASIC WATERWORKS OPERATION	92	20.0	04/10/2003	TEEX ITSI
WTSOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	07/13/2021	TRWA
WWOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	07/13/2021	TRWA

Note: Approved training providers are responsible for submitting approved training to TCEQ. Please allow 30 days from the last date of the training session for a record to appear in the search results. If a course does not appear in your training record after that time, please contact the training provider of the missing course. You may find contact information for approved training providers at <https://www.tceq.texas.gov/licensing/training/AllTrainingProviders>.

Attachment 1B

TCEQ Search Licensing or Registration Information

License Detail

To report a change of address, phone number, or email address, please fill out the form located at <http://www.tceq.texas.gov/licensing/forms/contactupdate>.

CN: CN601916984
Name: NETTLES, ROBERT L
Address: 126 ROBINSON RD
City: HUNTSVILLE
State: TX
ZIP: 77320-0542
County: WALKER
Work Phone: 936-594-5793

License(s)

There were 8 licenses found.

Program ?	License Type and Level ?	License Number ?	Last Issued Date ?	Exp. Date ?	License Status ?	BPAT Practical Skills ?	CE Hours ?
BPATOL	BACKFLOW PREVENTION ASSEMBLY TESTER	BP0012770	11/09/2021	01/25/2025	CURRENT	NO	0
CSIOL	CUSTOMER SERVICE INSPECTOR	CI0002227	02/18/2020	02/21/2023	CURRENT	N/A	3
WATEROL	WATER OPERATOR A	WO0015485	08/16/2019	10/15/2022	CURRENT	N/A	21.5
WWOL	WASTEWATER TREATMENT OPERATOR B	WW0006830	04/02/2020	04/11/2023	CURRENT	N/A	30.5
OSSFOL	OSSF MAINTENANCE TECHNICIAN	MT0000122	04/08/2010	01/23/2013	EXPIRED	N/A	N/A
OSSFOL	OSSF MAINTENANCE PROVIDER	MP0001786	01/23/2013	01/31/2016	EXPIRED	N/A	N/A
WATEROL	SURFACE WATER TREATMENT OPERATOR C	WS0006947	06/28/1997	06/28/2000	EXPIRED	N/A	N/A
WATEROL	GROUND WATER TREATMENT OPERATOR B	WG0003816	03/18/2003	10/12/2004	EXPIRED	N/A	N/A

Note: The number of CE hours needed in order to renew a license is based on the term (length) of each license. Please go to the program page for the license you hold to determine the number of CE hours needed and to view the latest information and renewal requirements for your license.

Application(s) within the Last 2 Years

There were 3 applications found.

Program ?	Type and Level ?	App. Type ?	App. Status ?	App. Review Date ?	App. Expiration Date ?	Deficiency Letter Date ?	Total Hours ?
BPATOL	BACKFLOW PREVENTION ASSEMBLY TESTER	RENEWAL	LICISSUED	11/09/2021	02/24/2022	No Deficiency	212
CSIOL	CUSTOMER SERVICE INSPECTOR	RENEWAL	LICISSUED	02/18/2020	03/22/2020	No Deficiency	140.5
WWOL	WASTEWATER TREATMENT OPERATOR B	RENEWAL	LICISSUED	04/02/2020	05/11/2020	No Deficiency	708

Course(s)

There were 292 courses found. **Note:** You may see the same course listed multiple times. This occurs because the course counted towards multiple license programs.

Program ?	Course Title	Course Code ?	Hours ?	Date ?	Provider
BPATOL	TRWA CONFERENCE - CSI AND BPAT ONLY	1319	3.0	10/07/2021	TRWA
BPATOL	BPAT PRACTICAL SKILLS REFRESHER - INCL. PRAC. SKILLS	1201	8.0	09/28/2021	BVWP
BPATOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	05/22/2019	TRWA
BPATOL	BPAT PRACTICAL SKILLS REFRESHER - INCL. PRAC. SKILLS	1201	8.0	11/07/2018	BVWP
BPATOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	11/30/2016	TRWA
BPATOL	BPAT PRACTICAL SKILLS REFRESHER - INCL. PRAC. SKILLS	1201	8.0	12/03/2015	TEEX ITS
BPATOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	10/23/2013	TRWA
BPATOL	16 HR BPAT ONLY CE (PRACTICAL SKILLS INCLUDED) - INCL. PRAC. SKILLS	1099	16.0	07/01/2010	TEEX ITS
BPATOL	BPAT PRACTICAL SKILLS REFRESHER - INCL. PRAC. SKILLS	1201	8.0	04/01/2010	TEEX ITS
BPATOL	BACKFLOW PREVENTION ASSEMBLY TESTER - INCL. PRAC. SKILLS	1200	40.0	11/13/2009	TEEX ITS
BPATOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	07/14/2009	TRWA
BPATOL	CUSTOMER SERVICE INSPECTIONS	173	14.0	08/02/2007	TRWA

BPATOL	CUSTOMER SERVICE INSPECTIONS	173	10.0	08/01/2007	TRWA
BPATOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
BPATOL	CUSTOMER SERVICE INSPECTIONS	173	14.0	12/01/2004	TRWA
BPATOL	ID AND PREVENTION OF CROSS-CONNECTIONS	1178	8.0	03/17/2004	TRWA
BPATOL	CUSTOMER SERVICE INSPECTIONS	173	10.0	03/16/1999	TRWA
CSIOL	TRWA CONFERENCE - CSI AND BPAT ONLY	1319	3.0	10/07/2021	TRWA
CSIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	05/22/2019	TRWA
CSIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	11/30/2016	TRWA
CSIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	10/23/2013	TRWA
CSIOL	TRWA CONFERENCE-WATER/WASTEWATER/CSI	1258	1.5	03/22/2013	TRWA
CSIOL	SEMINAR-WATER AND CSI TRAINING CREDIT	489	1.0	07/15/2010	TRWA
CSIOL	BACKFLOW PREVENTION ASSEMBLY TESTER - INCL. PRAC. SKILLS	1200	12.0	11/13/2009	TEEX ITS1
CSIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	07/14/2009	TRWA
CSIOL	SEMINAR-WATER AND CSI TRAINING CREDIT	489	2.0	05/06/2009	TRWA
CSIOL	CUSTOMER SERVICE INSPECTIONS	173	14.0	08/02/2007	TRWA
CSIOL	CUSTOMER SERVICE INSPECTIONS	173	10.0	08/01/2007	TRWA
CSIOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
CSIOL	CUSTOMER SERVICE INSPECTIONS	173	14.0	12/01/2004	TRWA
CSIOL	ID AND PREVENTION OF CROSS-CONNECTIONS	1178	8.0	03/17/2004	TRWA
CSIOL	CUSTOMER SERVICE INSPECTIONS	173	10.0	03/16/1999	TRWA
LIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	05/22/2019	TRWA
LIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	11/30/2016	TRWA
LIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	10/23/2013	TRWA
LIOL	BACKFLOW PREVENTION ASSEMBLY TESTER - INCL. PRAC. SKILLS	1200	12.0	11/13/2009	TEEX ITS1
LIOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	07/14/2009	TRWA
LIOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
LPSTOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
OSSFOL	ADVANCED AEROBIC MAINTENANCE (AMP)	434	16.0	03/21/2012	TOWA
OSSFOL	OSSF-AEROBIC UNIT & SURFACE APPLICATION O&M	821	8.0	01/13/2011	TEEX ITS1
OSSFOL	BASIC MAINTENANCE PROVIDER	656	16.0	03/08/2010	TOWA
OSSFOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
USTOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	10/07/2021	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.5	03/26/2021	TRWA
WATEROL	SEMINAR (W/WW)	34	1.0	11/12/2020	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.0	10/23/2020	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	9.0	11/07/2019	TRWA
WATEROL	PUBLIC DRINKING WATER CONFERENCE	626	6.0	08/08/2019	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	5.0	06/07/2019	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.0	06/07/2019	TRWA
WATEROL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	05/22/2019	TRWA
WATEROL	GROUNDWATER PRODUCTION	223	14.0	05/02/2019	S/E TEX RS
WATEROL	SEMINAR (W/WW)	34	6.0	02/12/2019	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	8.0	10/04/2018	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.0	11/02/2017	TRWA
WATEROL	PUBLIC DRINKING WATER CONFERENCE	626	4.5	08/09/2017	TCEQ
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	07/13/2017	TRWA
WATEROL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	11/30/2016	TRWA
WATEROL	PUBLIC DRINKING WATER CONFERENCE	626	9.5	08/10/2016	TCEQ
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.0	07/14/2016	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.0	03/24/2016	TRWA
WATEROL	PUBLIC DRINKING WATER CONFERENCE	626	8.5	08/12/2015	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.5	07/16/2015	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/20/2015	TRWA
WATEROL	SEMINAR (W/WW)	34	7.0	09/11/2014	TRWA
WATEROL	PUBLIC DRINKING WATER CONFERENCE	626	9.0	08/06/2014	TCEQ
WATEROL	WORKSHOP-WATER	477	3.0	05/15/2014	TCEQ
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	11/07/2013	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.0	11/07/2013	TRWA
WATEROL	WATER UTILITY MANAGEMENT	550	20.0	10/30/2013	TEEX ITS1
WATEROL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	10/23/2013	TRWA
WATEROL	SEMINAR (WATER ONLY)	1135	5.0	08/07/2013	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.0	07/18/2013	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.5	03/22/2013	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.5	03/22/2013	TRWA

WATEROL	TRWA CONFERENCE-WATER/WASTEWATER/CSI	1258	1.5	03/22/2013	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	5.0	10/11/2012	TRWA
WATEROL	SEMINAR (WATER ONLY)	1135	10.0	08/08/2012	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	07/19/2012	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	2.0	07/19/2012	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	4.0	11/03/2011	TRWA
WATEROL	SEMINAR (WATER ONLY)	1135	8.0	08/10/2011	TCEQ
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	07/14/2011	TRWA
WATEROL	EPA WATER WORKSHOP	315	4.0	06/07/2011	TRWA
WATEROL	ONLINE SURVEY-GW & DIST JOB ANALYSIS (2 HR W)	564	2.0	04/30/2011	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.5	03/25/2011	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.5	03/25/2011	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	6.0	11/04/2010	TRWA
WATEROL	PUBLIC DRINKING WATER CONFERENCE	626	9.0	08/11/2010	TCEQ
WATEROL	SEMINAR-WATER AND CSI TRAINING CREDIT	489	1.0	07/15/2010	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	2.0	07/15/2010	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	06/26/2010	TRWA
WATEROL	CLUSTER COURSE I: SAMPLING, DISINFEC, COMPLIANCE	1300	10.0	04/14/2010	LiquidLng
WATEROL	EPA WATER WORKSHOP	315	6.0	01/07/2010	TRWA
WATEROL	BACKFLOW PREVENTION ASSEMBLY TESTER - INCL. PRAC. SKILLS	1200	12.0	11/13/2009	TEEX ITSI
WATEROL	EPA WATER WORKSHOP	315	4.0	09/28/2009	TRWA-Online
WATEROL	SEMINAR (WATER ONLY)	1135	2.0	08/12/2009	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	07/16/2009	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.0	07/16/2009	TRWA
WATEROL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	16.0	07/14/2009	TRWA
WATEROL	ENVIRONMENTAL TRADE FAIR - WATER	638	3.0	05/14/2009	TCEQ
WATEROL	SEMINAR-WATER AND CSI TRAINING CREDIT	489	2.0	05/06/2009	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	05/06/2009	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	1.5	03/06/2009	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/06/2009	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	11/06/2008	TRWA
WATEROL	CLUSTER CRSE II: PRESS MAINT, FLUSHING & HYDRANT	1301	10.0	10/17/2008	LiquidLng
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.5	07/10/2008	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	07/10/2008	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	05/07/2008	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	5.5	04/18/2008	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/14/2008	TRWA
WATEROL	CLUSTER COURSE I: SAMPLING, DISINFEC, COMPLIANCE	1300	10.0	03/06/2008	LiquidLng
WATEROL	CUSTOMER SERVICE INSPECTIONS	173	14.0	08/02/2007	TRWA
WATEROL	CUSTOMER SERVICE INSPECTIONS	173	10.0	08/01/2007	TRWA
WATEROL	WATER UTILITY MANAGEMENT	550	20.0	07/11/2007	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	03/23/2007	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/23/2007	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	3.0	04/20/2006	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	5.0	04/19/2006	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.0	03/31/2006	TRWA
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/13/2006	GREEN FORS
WATEROL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
WATEROL	EPA WATER WORKSHOP	315	4.0	02/15/2006	TRWA
WATEROL	SEMINAR (WATER ONLY)	1135	12.0	08/10/2005	TCEQ
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	07/14/2005	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	2.0	07/14/2005	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	05/18/2005	TRWA
WATEROL	TRWA CONFERENCE-WATER ONLY	249	2.0	05/18/2005	TRWA
WATEROL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/11/2005	TRWA
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	01/10/2005	GREEN FORS
WATEROL	CUSTOMER SERVICE INSPECTIONS	173	14.0	12/01/2004	TRWA
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	11/08/2004	GREEN FORS
WATEROL	TRWA CONFERENCE-WATER ONLY	249	10.0	10/07/2004	TRWA
WATEROL	MEETING, ANNUAL - WATER	636	10.0	07/15/2004	TRWA
WATEROL	SEMINAR (W/WW)	34	2.0	05/12/2004	TAPWO
WATEROL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/19/2004	TRWA
WATEROL	ID AND PREVENTION OF CROSS-CONNECTIONS	1178	8.0	03/17/2004	TRWA
WATEROL	SEMINAR - WATER (DEACT 2/04) USE 1135	648	4.0	01/28/2004	TRWA
WATEROL	WATER TECHNOLOGY	613	40.0	10/10/2003	TRWA

WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	09/30/2003	GREEN FORS
WATEROL	TAPWO SOUTH TEXAS EXPO 2003	1126	4.0	09/24/2003	TAPWO
WATEROL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	07/17/2003	TRWA
WATEROL	SEMINAR (W/WW)	34	3.0	05/14/2003	TAPWO
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2003	GREEN FORS
WATEROL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/28/2003	TRWA
WATEROL	WATER LABORATORY	285	22.0	03/05/2003	ANNUAL SCH
WATEROL	WATER UTILITY CALCULATIONS	108	20.0	02/13/2003	TEEX ITSJ
WATEROL	SEMINAR - WATER (DEACT 2/04) USE 1135	648	4.0	01/23/2003	TRWA
WATEROL	MEETING, ANNUAL - WATER	636	10.0	07/18/2002	TRWA
WATEROL	SEMINAR (W/WW)	34	8.0	05/15/2002	TRWA
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2002	GREEN FORS
WATEROL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/28/2002	TRWA
WATEROL	SEMINAR - WATER (DEACT 2/04) USE 1135	648	4.0	02/12/2002	TRWA
WATEROL	CHLORINATOR MAINTENANCE(O&M CHLOR SYSTEMS)	124	20.0	11/29/2001	TEEX ITSJ
WATEROL	PDT-MANAGERIAL (DEACT 1/07 NO LONGER USED)	711	9.0	10/03/2001	TRWA
WATEROL	GEN TRAINING CREDIT - WATER (DEACT 1/05)	640	2.0	07/31/2001	TNRCC
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2001	GREEN FORS
WATEROL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/30/2001	TRWA
WATEROL	WATER UTILITY MANAGEMENT	550	20.0	07/12/2000	TRWA
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2000	GREEN FORS
WATEROL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/17/2000	TRWA
WATEROL	SEMINAR - WATER (DEACT 2/04) USE 1135	648	7.0	01/13/2000	TRWA
WATEROL	PUMP & MOTOR OPERATION AND MAINTENANCE	396	20.0	11/11/1999	TEEX ITSJ
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	09/30/1999	GREEN FORS
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/1999	GREEN FORS
WATEROL	MEETING, ANNUAL - WATER	636	10.0	03/19/1999	TRWA
WATEROL	CUSTOMER SERVICE INSPECTIONS	173	10.0	03/16/1999	TRWA
WATEROL	MEETING, ANNUAL - WATER	636	10.0	07/16/1998	TRWA
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/1998	GREEN FORS
WATEROL	GROUNDWATER PRODUCTION	223	20.0	03/04/1998	ANNUAL SCH
WATEROL	SEMINAR - WATER (DEACT 2/04) USE 1135	648	7.0	02/19/1998	TRWA
WATEROL	SEMINAR - WATER (DEACT 2/04) USE 1135	648	7.0	01/30/1998	TNRCC
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	4.0	12/31/1996	GREEN FORS
WATEROL	(CORE) WATER DISTRIBUTION	605	20.0	07/25/1996	TEEX ITSJ
WATEROL	WATER LABORATORY	285	20.0	03/06/1996	ANNUAL SCH
WATEROL	(CORE) BASIC WATERWORKS OPERATION	92	20.0	01/25/1996	TEEX ITSJ
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	14.0	12/31/1995	GREEN FORS
WATEROL	SEMINAR (W/WW)	34	14.0	08/01/1995	TNRCC
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	14.0	12/01/1994	GREEN FORS
WATEROL	WATER UTILITY SAFETY	426	20.0	12/01/1994	TEEX ITSJ
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	8.0	04/01/1994	GREEN FORS
WATEROL	PUMP & MOTOR OPERATION AND MAINTENANCE	396	20.0	02/01/1994	TEEX ITSJ
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	8.0	12/01/1993	GREEN FORS
WATEROL	SEMINAR (W/WW)	34	14.0	12/01/1993	TNRCC
WATEROL	(CORE) WATER DISTRIBUTION	605	20.0	02/01/1993	TEEX ITSJ
WATEROL	WATER UTILITY CALCULATIONS	108	20.0	01/01/1993	TEEX ITSJ
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	12/01/1991	GREEN FORS
WATEROL	(CORE) WATER DISTRIBUTION	605	20.0	06/01/1991	TEEX ITSJ
WATEROL	MONTHLY MEETING TRAINING (W/WW)	33	6.0	12/01/1990	GREEN FORS
WATEROL	(CORE) WATER DISTRIBUTION	605	20.0	04/01/1990	TEEX ITSJ
WTSOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	05/22/2019	TRWA
WTSOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	11/30/2016	TRWA
WTSOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	10/23/2013	TRWA
WTSOL	BACKFLOW PREVENTION ASSEMBLY TESTER - INCL. PRAC. SKILLS	1200	12.0	11/13/2009	TEEX ITSJ
WTSOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	07/14/2009	TRWA
WWOL	WASTEWATER TREATMENT	437	18.0	10/28/2021	S/E TEX RS
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	10/07/2021	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.5	03/26/2021	TRWA
WWOL	SEMINAR (W/WW)	34	1.0	11/12/2020	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.0	10/23/2020	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	9.0	11/07/2019	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	5.0	06/07/2019	TRWA
WWOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	05/22/2019	TRWA
WWOL	SEMINAR (W/WW)	34	6.0	02/12/2019	TRWA

WWOL	TRWA CONFERENCE-WASTEWATER ONLY	250	6.0	10/04/2018	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.0	11/02/2017	TRWA
WWOL	TRWA CONFERENCE-WASTEWATER ONLY	250	1.0	07/13/2017	TRWA
WWOL	WASTEWATER WORKSHOP	681	6.0	03/02/2017	TRWA
WWOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	11/30/2016	TRWA
WWOL	TRWA CONFERENCE-WASTEWATER ONLY	250	1.0	03/24/2016	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.5	07/16/2015	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/20/2015	TRWA
WWOL	SEMINAR (W/WW)	34	7.0	09/11/2014	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.0	11/07/2013	TRWA
WWOL	WATER UTILITY MANAGEMENT	550	20.0	10/30/2013	TEEX ITS1
WWOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	10/23/2013	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.0	07/18/2013	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.5	03/22/2013	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER/CSI	1258	1.5	03/22/2013	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	5.0	10/11/2012	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	07/19/2012	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.5	03/25/2011	TRWA
WWOL	TRWA CONFERENCE-WASTEWATER ONLY	250	3.0	03/26/2010	TRWA
WWOL	BACKFLOW PREVENTION ASSEMBLY TESTER - INCL. PRAC. SKILLS	1200	12.0	11/13/2009	TEEX ITS1
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	07/16/2009	TRWA
WWOL	(CORE CSI) CUSTOMER SERVICE INSPECTION & CCC	606	12.0	07/14/2009	TRWA
WWOL	ENVIRONMENTAL TRADE FAIR - WASTEWATER	639	4.0	05/14/2009	TCEQ
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	05/06/2009	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/06/2009	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	2.0	11/06/2008	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	1.5	07/10/2008	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/14/2008	TRWA
WWOL	WATER UTILITY MANAGEMENT	550	20.0	07/11/2007	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/23/2007	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	5.0	04/19/2006	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	4.0	03/31/2006	TRWA
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/13/2006	GREEN FORS
WWOL	(DEACT 4/14) UNDERGROUND FACILITY DAMAGE PREV	1183	1.0	03/02/2006	TEXAS811
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	07/14/2005	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	05/18/2005	TRWA
WWOL	TRWA CONFERENCE-WATER/WASTEWATER	257	3.0	03/11/2005	TRWA
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	01/10/2005	GREEN FORS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	11/08/2004	GREEN FORS
WWOL	MEETING, ANNUAL - WASTEWATER	637	10.0	07/15/2004	TRWA
WWOL	SEMINAR (W/WW)	34	2.0	05/12/2004	TAPWO
WWOL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/19/2004	TRWA
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	09/30/2003	GREEN FORS
WWOL	TAPWO SOUTH TEXAS EXPO 2003	1126	4.0	09/24/2003	TAPWO
WWOL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	07/17/2003	TRWA
WWOL	SEMINAR (W/WW)	34	3.0	05/14/2003	TAPWO
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2003	GREEN FORS
WWOL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/28/2003	TRWA
WWOL	WATER UTILITY CALCULATIONS	108	20.0	02/13/2003	TEEX ITS1
WWOL	SEMINAR (W/WW)	34	8.0	05/15/2002	TRWA
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2002	GREEN FORS
WWOL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/28/2002	TRWA
WWOL	CHLORINATOR MAINTENANCE(O&M CHLOR SYSTEMS)	124	20.0	11/29/2001	TEEX ITS1
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2001	GREEN FORS
WWOL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/30/2001	TRWA
WWOL	MEETING, ANNUAL - WASTEWATER	637	10.0	07/13/2000	TRWA
WWOL	WATER UTILITY MANAGEMENT	550	20.0	07/12/2000	TRWA
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/2000	GREEN FORS
WWOL	(DEACT 5/14) MEETING, ANNUAL (W/WW)	522	10.0	03/17/2000	TRWA
WWOL	SEMINAR - WW & LIMITED LPST	649	4.0	01/13/2000	TRWA
WWOL	PUMP & MOTOR OPERATION AND MAINTENANCE	396	20.0	11/11/1999	TEEX ITS1
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	09/30/1999	GREEN FORS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/1999	GREEN FORS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	03/31/1998	GREEN FORS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	4.0	12/31/1996	GREEN FORS

WWOL	GEN TRAINING CREDIT - WW (DEACT 1/05)	641	8.0	04/13/1996	GREEN FORS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	14.0	12/31/1995	GREEN FORS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	8.0	04/08/1995	GREEN FORS
WWOL	WASTEWATER TREATMENT	437	20.0	03/08/1995	ANNUAL SCH
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	14.0	12/31/1994	GREEN FORS
WWOL	WATER UTILITY SAFETY	426	20.0	12/15/1994	TEEX ITS1
WWOL	WASTEWATER LABORATORY	81	20.0	04/27/1994	S/E TEX RS
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	4.0	04/09/1994	GREEN FORS
WWOL	PUMP & MOTOR OPERATION AND MAINTENANCE	396	20.0	02/03/1994	TEEX ITS1
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	8.0	12/31/1993	GREEN FORS
WWOL	WASTEWATER COLLECTION	80	20.0	06/17/1993	TEEX ITS1
WWOL	WASTEWATER TREATMENT	437	20.0	03/10/1993	ANNUAL SCH
WWOL	WATER UTILITY CALCULATIONS	108	20.0	01/28/1993	TEEX ITS1
WWOL	WASTEWATER TREATMENT	437	20.0	10/22/1992	TEEX ITS1
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	2.0	12/31/1991	GREEN FORS
WWOL	OPER OF ACTIVATED SLUDGE PLANTS(= 437)	9	20.0	11/21/1991	TEEX ITS1
WWOL	MONTHLY MEETING TRAINING (W/WW)	33	6.0	12/31/1990	GREEN FORS
WWOL	(CORE) BASIC WASTEWATER OPERATIONS	59	20.0	08/23/1990	TEEX ITS1
WWOL	WASTEWATER TREATMENT	437	20.0	03/29/1990	TEEX ITS1
WWOL	(CORE) BASIC WASTEWATER OPERATIONS	59	20.0	10/05/1989	TEEX ITS1

Note: Approved training providers are responsible for submitting approved training to TCEQ. Please allow 30 days from the last date of the training session for a record to appear in the search results. If a course does not appear in your training record after that time, please contact the training provider of the missing course. You may find contact information for approved training providers at <https://www.tceq.texas.gov/licensing/training/AllTrainingProviders>.

Attachment 1C

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



PWS_1700917_CO_20210603_Plan Ltr

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

June 3, 2021

Mr. Brett Wyant, P.E.
Spear Point Engineering, LLC
604 West Worsham Street, Suite 100
Willis, TX 77378

Re: Dos Aguas - Public Water System ID No. 1700917
Proposed Distribution System - Republic Grand Ranch and Deer Forest Deveopment
Engineer Contact Telephone: (956) 245-2547
Plan Review Log No. P-04262021-179
Montgomery County, Texas

CN605857093; RN111188272

Dear Mr. Wyant:

On April 26, 2021, the Texas Commission on Environmental Quality (TCEQ) received planning material with your letter dated April 26, 2021 for the proposed distribution system - Republic Grand Ranch and Deer Forest Deveopment. Based on our review of the information submitted, the project generally meets the minimum requirements of Title 30 Texas Administrative Code (TAC) Chapter 290 - Rules and Regulations for Public Water Systems and is **conditionally approved for construction** if the project plans and specifications meet the following requirement(s):

Dos Aguas (PWS 1700917) does not have adequate plant capacity approved by the TCEQ for the number of connections proposed in the submitted distribution systems. Dos Aguas must increase the approved water treatment plant capacity in accordance with **§290.45** before these lots are developed in order to meet capacity requirements.

The submittal consisted of 7 sheets of engineering drawings and technical specifications. The approved project consists of:

- 9,312 linear feet of 4-inch, American Society for Testing Materials (ASTM) Standard D2241, standard dimension ratio (SDR) 26, polyvinyl chloride (PVC) pipe;
- 13,180 linear feet of 6-inch, ASTM Standard D2241, SDR 26, PVC pipe;
- 201,240 linear feet of 8-inch, ASTM Standard D2241, SDR 26, PVC pipe;
- Service Lines: 1-inch, ASTM Standard D1248, SDR 9, polyethylene; and
- All associated valves, fittings, and appurtenances.

Mr. Brett Wyant, P.E.
Page 2
June 3, 2021

This approval is for the construction of the above listed items only. Any wastewater components contained in this design were not considered. The authorization provided in this letter does not relieve a Public Water System from the need to comply with other applicable state and federal regulations.

The Dos Aguas public water supply system provides water treatment.

The project is located at the intersection of Tanyard Road and Farm-to-Market Road 1097 in Montgomery County, Texas.

An appointed engineer must notify the TCEQ's Region 12 Office in Houston at (713) 767-3500 when construction will start. Please keep in mind that upon completion of the water works project, the engineer or owner will notify the commission's Water Supply Division, in writing, as to its completion and attest to the fact that the completed work is substantially in accordance with the plans and change orders on file with the commission as required in 30 TAC §290.39(h)(3).

Please refer to the Plan Review Team's Log No. **P-04262021-179** in all correspondence for this project.

Please complete a copy of the most current Public Water System Plan Review Submittal form for any future submittals to TCEQ. Every blank on the form must be completed to minimize any delays in the review of your project. The document is available on TCEQ's website at the address shown below. You can also download the most current plan submittal checklists and forms from the same address.

<https://www.tceq.texas.gov/drinkingwater/udpubs.html>

For future reference, you can review part of the Plan Review Team's database to see if we have received your project. This is available on TCEQ's website at the following address:

<https://www.tceq.texas.gov/drinkingwater/planrev.html/#status>

You can download the latest revision of 30 TAC Chapter 290 - Rules and Regulations for Public Water Systems from this site.

Mr. Brett Wyant, P.E.

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June 3, 2021

If you have any questions concerning this letter or need further assistance, please contact Mr. Franklin Adams at (512) 239-4648 or by email at Franklin.Adams@Tceq.Texas.Gov. If you are unable to contact Mr. Adams, please contact another member of the Plan Review Team at (512) 239-4691 or by correspondence at the following address:

Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

Sincerely,



Craig A. Stowell, P.E.
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality



Vera Poe, P.E., Team Leader
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality

VP/CAS/fa/av

cc: Dos Aguas, Attn: Mr. Scott Rohn, 455 Farm-to-Market Road 2296, Huntsville, TX 77340-2424

Attachment 1D

TCEQ Public water system plan review submittal form

(Complete, Seal and Attach to Submittal Package)

WATER SYSTEM INFORMATION

Date:	December 17, 2021		
TCEQ PWS Identification No.: (Facilities will be assigned this PWS No.)	1700917		
Water System Name:	Dos Aguas Water Plant No. 1		
Owner Information:			
Water System Owner:	Dos Aguas, LLC		
Address:	455 FM 2296, Huntsville, TX 77340	(AC) Phone:	(936) 661-2210
Responsible Official:	Scott Rowe	Title:	
County (System Location):	Montgomery	Mechanism & Source of Financing: (i.e. loans, rates, self-financed, etc.)	Self-Financed
Subdivision Sec., Phase, Unit, Etc.	Grand Republic Ranch Section 1		

ENGINEER INFORMATION

Engineer Name:	Michael Mathena P.E.	Registration No.:	91895
Firm Name:	Light Point Engineering, LLC	Firm No.:	18938
(AC) Phone:	(936) 207-9984	(AC) Fax:	N/A
Firm Address:	604 W. Worsham St, Suite 100, Willis, TX 77378		

SUBMITTAL INFORMATION

Is this submittal for a new public water system?	Yes: ☒ No: ☐
If no, proceed to the Project Information section on Page 2. If no PWS number exists, the owner must submit a core data form and business plan, if required, in accordance with §290.39(f) and (g).	

NEW (PROPOSED) WATER SYSTEMS

(Only complete this section if this submittal is for a NEW water system)

For new (proposed) system submittals, please provide 2 copies of the submittal and attach the following:	
☒	A list of all water utilities within ½ mile of the proposed service area boundaries (reference 30 TAC 290.39(c)(1)).
☒	Copies of written responses from each of the entities listed above (reference 30 TAC 290.39(c)(1)).
☒	Copies of formal applications for service from each of the following (reference 30 TAC 290.39(c)(1)):
☐	Any municipality if the system is within its ETJ.
☐	Any district or other political subdivision whose corporate boundaries are within ½ mile of the proposed service area boundaries.
☒	Any other water service provider whose certificated service area boundary is within ½ mile of the proposed service area boundaries.

TCEQ Public water system plan review submittal form

(Complete, Seal and Attach to Submittal Package)

☒	Documentation that all application requirements, including fee payments, are current.
☒	Business plan: Please complete the financial ability form, provide a cost summary for the proposed project, and submit a business plan (reference 30 TAC 290.39 (f)). The business plan must confirm capital available to construct the system according to TCEQ requirements. Acceptable financial information can include some of the following: Financial statements (preferably audited), CPA compilation report, tax returns, statements of net worth, bank statements. If the project is being funded with loan proceeds, provide a loan commitment letter from the lender specific to this project. If the plan submittal is for a community system, also provide a copy of the Certificate of Convenience and Necessity (CCN) application submitted to the Public Utility Commission of Texas (PUC), and complete items referenced in 30 TAC 290.39 (f) (1 - 13).
☐	Justification for constructing a separate system (if one of the entities listed above is willing to provide service).
☒	TCEQ Core Data Form (No. 10400).
☐	Emergency Preparedness Plan (No. 20536) if serving water in Harris or Fort Bend Counties and have overnight accommodations.

Certificate of Convenience and necessity (CCN)

Certificates of Convenience and Necessity (CCN) applications are processed by the Public Utility Commission of Texas (PUC) and are required for privately owned systems and water supply corporations. If a CCN is required and a CCN does not exist, the applicant must obtain a CCN number or have the application accepted for filing at the PUC before a PWS project submittal can be technically reviewed. In addition, if a submittal is for a project located outside the CCN area, a CCN amendment application must be submitted before a project may be reviewed for construction approval. Please refer to PUC for additional information at: <http://www.puc.texas.gov/industry/water/guidance/UtilRulesGuidance.aspx> ([Rules and Guidance for Water and Sewer Utilities](#)).

Will the proposed PWS be owned by either an investor owned utility (IOU) or water supply corporation (WSC)? If yes, please indicate which type of entity
WCS

YES: ☒ NO: ☐

Has a CCN application been submitted to the PUC? If yes, please provide the date of acceptance
11/09/2020; Docket No. 51407

YES: ☒ NO: ☐

List the name, license number and class of the operator for the proposed system:

Scott Rowe, WG0018579, Class C

Project Information

If a system does NOT have a PWS number, the sections above must be filled out

All engineering documents must be sealed, signed, and dated by a Texas registered professional engineer. An engineering report that includes the number of connections to be served must accompany each project. Please check each box that is applicable.

If this submittal is a revision of previously submitted plans, please provide the assigned TCEQ log number:

New Projects/Facilities	Modifications to Existing Facilities
☐ Water well construction - Proposed	☐ Surface water treatment plant modifications
☒ Well completion data for approved well	☐ Storage capacity modifications
☐ Ground water treatment plant - New	☐ Distribution system modifications
☐ Surface water treatment plant - New	☐ Pressure maintenance facilities modifications
☐ Proposed Innovative/Alternative Treatment	☐ Disinfection facilities or other modifications
☐ Request for rule exception	
☐ Preliminary engineering report without plans	

TCEQ Public water system plan review submittal form

(Complete, Seal and Attach to Submittal Package)

☐	Texas Water Development Board Project No.:	
☐	As-Built Plans & Engineering Report	
☐	Other (please describe):	

Signature and certification

The following certification indicates I have the authority to make submittals on behalf of the PWS referenced on Page 1. I hereby certify that the above information is, to the best of my knowledge, true and correct:

Signature/P.E. Seal Required below:

Engineer's Signature:	
Engineer's Printed Name:	Mike Mathena, P.E
Date:	8/12/2021

Please call (512) 239-4691 if you have questions regarding this form. Your cooperation will help us provide better service. Additional helpful information and rules are available at the Public Water System Plan Review website.

**Texas Commission on Environmental Quality
SANITARY CONTROL EASEMENT**

SOUTH WELL 1B LOCATION

DATE: August 25, 2020

GRANTOR(S): REPUBLIC GRAND RANCH, LLC

GRANTOR'S ADDRESS: 1015A WEST SH 150, NEW WAVERLY, TX 77358

GRANTEE: DOS AGUAS, LLC

GRANTEE'S ADDRESS: 455 FM 2296 HUNTSVILLE, TX 77340

SANITARY CONTROL EASEMENT:

Purpose, Restrictions, and Uses of Easement:

1. The purpose of this easement is to protect the water supply of the well described and located below by means of sanitary control.
2. The construction, existence, and/or operation of the following within a 150-foot radius of the well described and located below are prohibited: septic tank or sewage treatment perforated drain fields; areas irrigated by low dosage, low angle spray on-site sewage facilities; absorption beds; evapotranspiration beds; abandoned, inoperative or improperly constructed water wells of any depth; underground petroleum and chemical storage tanks or liquid transmission pipelines; sewage treatment plants; sewage wet wells; sewage pumping stations; drainage ditches which contains industrial waste discharges or wastes from sewage treatment systems; animal feed lots; solid waste disposal sites, landfill and dump sites; lands on which sewage plant or septic tank sludge is applied; lands irrigated by sewage plant effluent; military facilities; industrial facilities; wood -treatment facilities; liquid petroleum and petrochemical production, storage, and transmission facilities; Class 1, 2, 3, 4 and 5 injection wells; pesticide storage and mixing facilities; and all other constructions or operations that could pollute the groundwater sources of the well that is the subject of this easement. For the purpose of this easement, improperly constructed water wells are those wells which do not meet the surface and subsurface construction standards for a public water supply well.
3. The construction, existence and/or operation of tile or concrete sanitary sewers, sewer appurtenances, septic tanks, storm sewers, cemeteries, and/or the existence of livestock in pastures is specifically prohibited within a 50-foot radius of the water well described and located below.
4. This easement permits the construction of homes or buildings upon the Grantor's property, and farming and ranching operations, as long as all items in Restrictions Nos. 2 and 3 are recognized and followed.

The Grantor's property subject to this Easement is described in the documents recorded at: Clerks File No. 2019113827 of the Official Public Records of Montgomery County, Texas.

PROPERTY SUBJECT TO EASEMENT:

All of that area within a 150-foot radius of the water well located S11°38'55"W distance of 11,395.48 feet (Bearings and Distance are GRID NAD 83, Texas Central Zone) from the most northerly northwest corner of the called 4,818.84 acre tract of land described in said Deed to Republic Grand Ranch, LLC recorded under Clerks File No. 2019113827 of the Official Public Records of Montgomery County, Texas, also shown in Exhibit A attached below.

TERM:

This easement shall run with the land and shall be binding on all parties and persons claiming under the Grantor(s) for a period of two years from the date that this easement is recorded; after which time, this easement shall be automatically extended until the use of the subject water well as a source of water for public water systems ceases.

ENFORCEMENT:

Enforcement of this easement shall be proceedings at law or in equity against any person or persons violating or attempting to violate the restrictions in this easement, either to restrain the violation or to recover damages.

INVALIDATION:

Invalidation of any one of these restrictions or uses (covenants) by a judgment or court order shall not affect any of the other provisions of this easement, which shall remain in full force and effect.

FOR AND IN CONSIDERATION, of the sum of One Dollar (\$1.00) and for other good and valuable consideration paid by the Grantee to the Grantor(s), the receipt of which is hereby acknowledged, the Grantor does hereby grant and convey to Grantee and to its successors and assigns the sanitary control easement described in this easement.

GRANTOR(S) By: Renee Howes

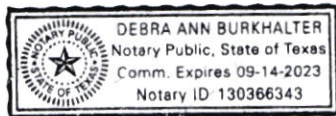
Renee Howes, Authorized Agent

ACKNOWLEDGMENT

STATE OF TEXAS §

COUNTY OF WALKER §

BEFORE ME, the undersigned authority, on the day of 8/31, 2020, personally appeared Renee Howes known to me to be the person(s) whose name(s) is (are) subscribed to the foregoing instrument and acknowledged to me that executed the same for the purposes and consideration therein expressed.

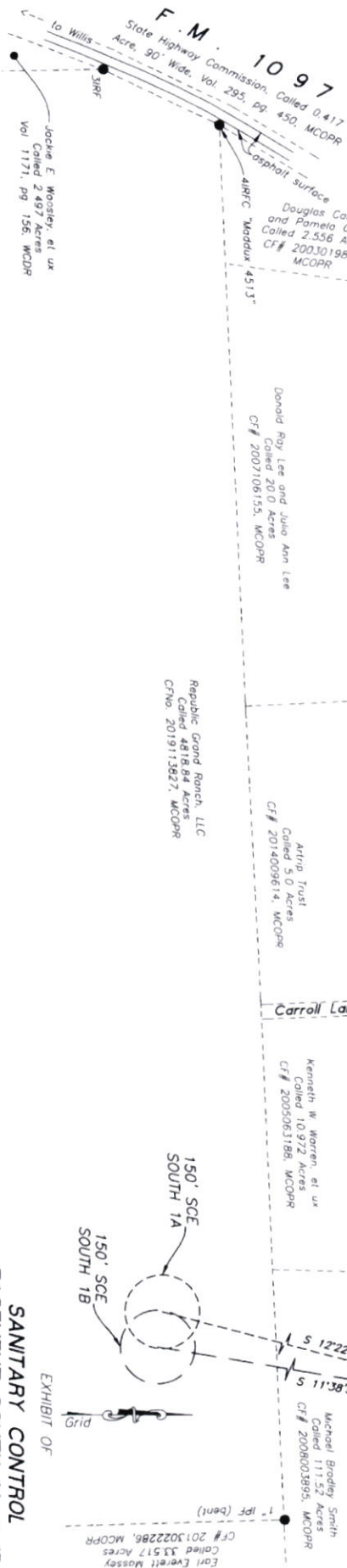


Notary Public in and for
THE STATE OF TEXAS
My Commission Expires: 9/14/2023
Typed or Printed Name of Notary
Debra Ann Burkhalter

Recorded in _____ Courthouse, _____ Texas on _____, 2

LEGEND

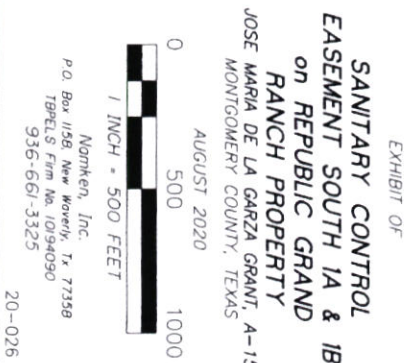
- Found Iron Rod or Iron Pipe (IP), size and type as noted
- Set 3/8" Iron Rod with 1-3/4" blue plastic cap mid
- 3/8" Found 3/8" Iron Rod
- 4/8" Found 1/2" Iron Rod
- MCOPR Montgomery County Deed Records
- MCOPR Montgomery County Official Public Records
- MCOPR Montgomery County Real Property Records
- SCE Sanitary Control Easement



NOTES:

- The purpose of this plat is to show the locations of the 150 foot Sanitary Control Easement South 1A and the 150 foot radius Sanitary Control Easement South 1B, on of the called 4818.84 acre tract of land as described in a deed to Republic Grand Ranch, LLC, CF# 2019113827, MCOPR.
- Bearings, Distances and acreages herein are said and referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83. Distances may be converted to geodetic horizontal (surface) by dividing by a Combined Scale factor of 0.9999076.

EXHIBIT "A"



E-FILED FOR RECORD

08/31/2020 04:13PM



COUNTY CLERK
MONTGOMERY COUNTY, TEXAS

STATE OF TEXAS,
COUNTY OF MONTGOMERY

I hereby certify that this instrument was e-filed in the file number
sequence on the date and time stamped herein
by me and was duly e-RECORDED in the Official Public
Records of Montgomery County, Texas.

08/31/2020



County Clerk
Montgomery County, Texas



HOLLY

WATER WELL SERVICE

2928 State Hwy 19
Huntsville TX 77320
936-295-6098
936-295-8704 Fax

TEST CONDUCTED BY: Kevin Lee/Matt Davis

WELL OWNER: Dos Aguas

PUMPED WELL NO. _____

AIRLINE LENGTHS: _____

STATIC WATER LEVEL: 374

ADDRESS: _____

LOCATION: _____

Willis TX

REMARKS: Pump set at 593' on 4" Galvanized
40HP 7WAHC-5

PUMPED WELL DATA

DATE & TIME	GPM	Water Level	Comments
1:48 9/15/21	200	385	
1:49	200	404	
1:50	200	415	
1:51	200	429	
1:52	200	434	
1:57	200	434	
2:02	200	438	
2:07	200	438	
2:12	200	438	
2:17	200	438	
2:22	200	438	
2:27	200	438	
2:32	200	441	
2:37	200	441	
2:42	200	441	
2:47	200	441	
3:02	200	441	
3:17	200	441	
3:32	200	441	
3:47	200	441	
4:17	200	441	
4:47	200	443	
5:17	200	441	
5:47	200	443	
6:47	200	443	
7:47	200	443	
8:47	200	443	
9:47	200	443	
10:47	200	443	
11:47	200	443	
12:47	200	443	
1:47	200	443	12 hours
2:47	200	443	
3:47	200	443	
4:47	200	443	
5:47	200	443	
6:47	200	443	
7:47	200	445	

8:47	200	445	
9:47	200	445	
10:47	200	445	
11:47	200	445	
12:47	200	445	
1:47	200	445	24 hours
2:47	200	445	
3:47	200	445	
4:47	200	445	
5:47	200	445	
6:47	200	445	
7:47	200	445	
8:47	200	445	
9:47	200	445	
10:47	200	445	
11:47	200	445	
12:47	200	445	
1:47	200	445	36 hours
Recovery			
1:48		418	
1:49		404	
1:50		392	
1:51		385	
1:52		376	
1:57		360	
2:02		360	
2:07		360	
2:12		360	
2:17		360	
2:32		360	
2:47		360	
3:17		360	
3:47		360	
4:17		360	
4:47		360	
5:17		360	
5:47		360	

TCEQ Cementing Certificate for PWS Groundwater Well Construction

Dos Aguas

PWS No.: _____	TCEQ Approval Letter Log No.: P-_____
----------------	---------------------------------------

Cementing Company Name

ADVANCED CEMENTING SERVICES

Name and Title of Company Representative

Telephone Number

SHANNON MCCONNELL (979) 921-0356

Company Address

40466 FM 1488 HEMPSTEAD TX 77445

Cementing Information

AWWA A100-15 Appendix C Method Used for Cementing Well ¹ (circle method used)	C2 C3 C4 C5
Casing Material and Specification (AWWA A100-15 Table 2 "Water well casing materials")	Check the appropriate pipe on following sheet

Note: Please use columns 2-3 only if increasing or decreasing borehole and/or casing sizes are utilized

Information	Size 1	Size 2	Size 3
Borehole size (inch)	16.5		
Actual Casing size (inch of outside diameter)	12.75		
Ground Surface Elevation (GSE) as (msl or 0)			
Top of casing elevation (msl or +GSE)			
Bottom of casing elevation (msl or -GSE)	700		
Number of centralizers used			
Vol. - sacks of cement (with water & additives)	291		
Vol. of hole (annular space) to be cemented ²	419 CUFT		
Number of sacks calculated to fill annular space	242		
Number of sacks of 94 lb. cement used	291		
Volume balance between sacks used & required	20%		
Gallons of water used per 94 lb. sack of cement and additives	9.08		
Depth of pressure cementing	700		
Date of pressure cementing	7-29-21		
API Class of cement used	A		
Additives used (bentonite, calcium chloride, etc)	BENTONITE		
% of additive added to cement -	6%		
% of additive added to cement			
% of additive added to cement			

Signature of Representative

Date

Shannon McConnell 10-26-21

¹ Please note that AWWA A100-15 Method C1 is not allowed to be used, see 30 TAC §290.41(c)(3)(C).

² Borehole minus outside diameter of casing pipe.

**American Water Works Association Standard
A100-15 Water Wells**

APPENDIX C

Grouting and Sealing—Methods of Placement

SECTION C.2: Positive Displacement - Exterior Method

SECTION C.3: Interior Method - Without Plug

SECTION C.4: Positive Placement, Interior Method - Drillable Plug

SECTION C.5: Placement through Float Shoe Attached to Bottom of Casing

** For details of these approved methods refer to AWWA A100-15 Appendix C for details.*

Water-well Casing Materials Table 2 from AWWA A100-15

A. Manufacturing standards for single-ply carbon-steel well casing:

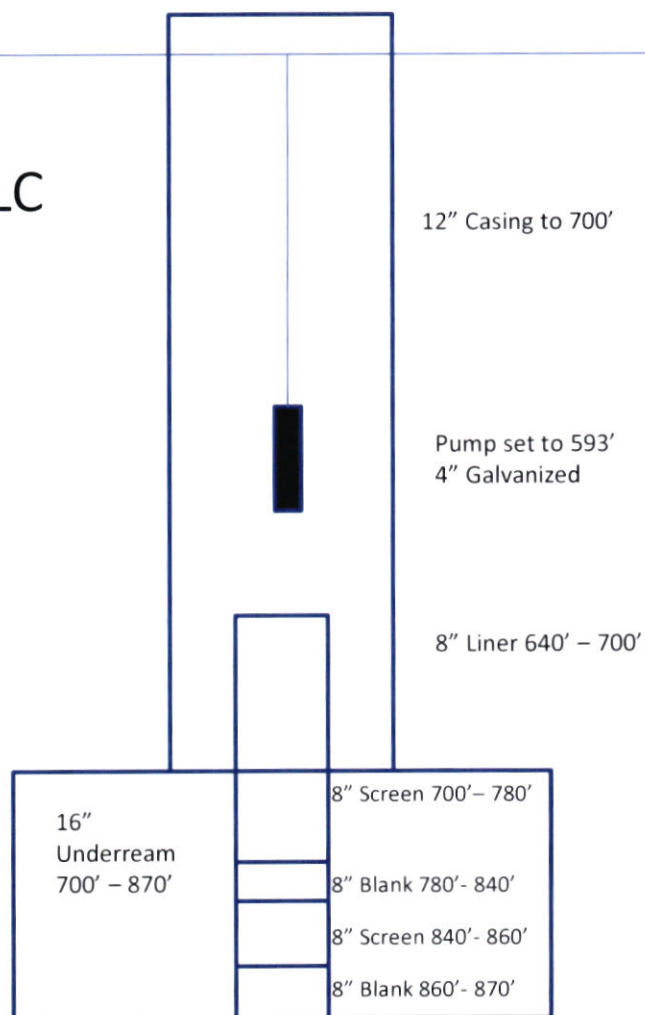
- ☒ ANSI/AWWA C200
- ☐ API Spec. 5L
- ☐ ASTM A53 Grade B
- ☐ ASTM A139 Grade B

B. Manufacturing standards for alternative-ply well-casing materials:

- | | |
|--|--|
| ☐ Casing Material | Manufacturing Standard |
| ☒ Carbon Steel | ASTM A139 Grade B |
| ☐ Copper-Bearing Steel | ASTM A139 Grade B with additional requirement that the steel contain a minimum of 0.20% copper |
| ☐ High-Strength Low-Alloy Steel | ASTM A606 Type 4 |
| ☐ Stainless Steel | ASTM A778 |
| ☐ Plastic | ASTM F480 |

Dos Aguas, LLC

Drawing Not to Scale



Alloy Machine Works, Inc.
18102 E. Hardy Rd.
Houston, TX 77073

Date Run:
7/20/2021

Ph (800) 577-5068
Ph (281) 233-0214
Fax (281) 233-0487

Sold To: Holly Water Well
Address: 2928 State Highway 19
City, St Zip: Huntsville, TX

Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	2	2%	2%
50	0.012	10	10%	12%
70	0.008	40	40%	52%
100	0.006	39	39%	91%
120	0.0049	7	7%	98%
140	0.0041	2	2%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		100		

Remarks

Depth (Beginning) 700 Depth (Ending) 710

Uniformity Coefficient D60/D10 = 1.5203

D60 = 0.0092 D10 = 0.0061

50% Point 0.0082 5*50% Pt 0.0410

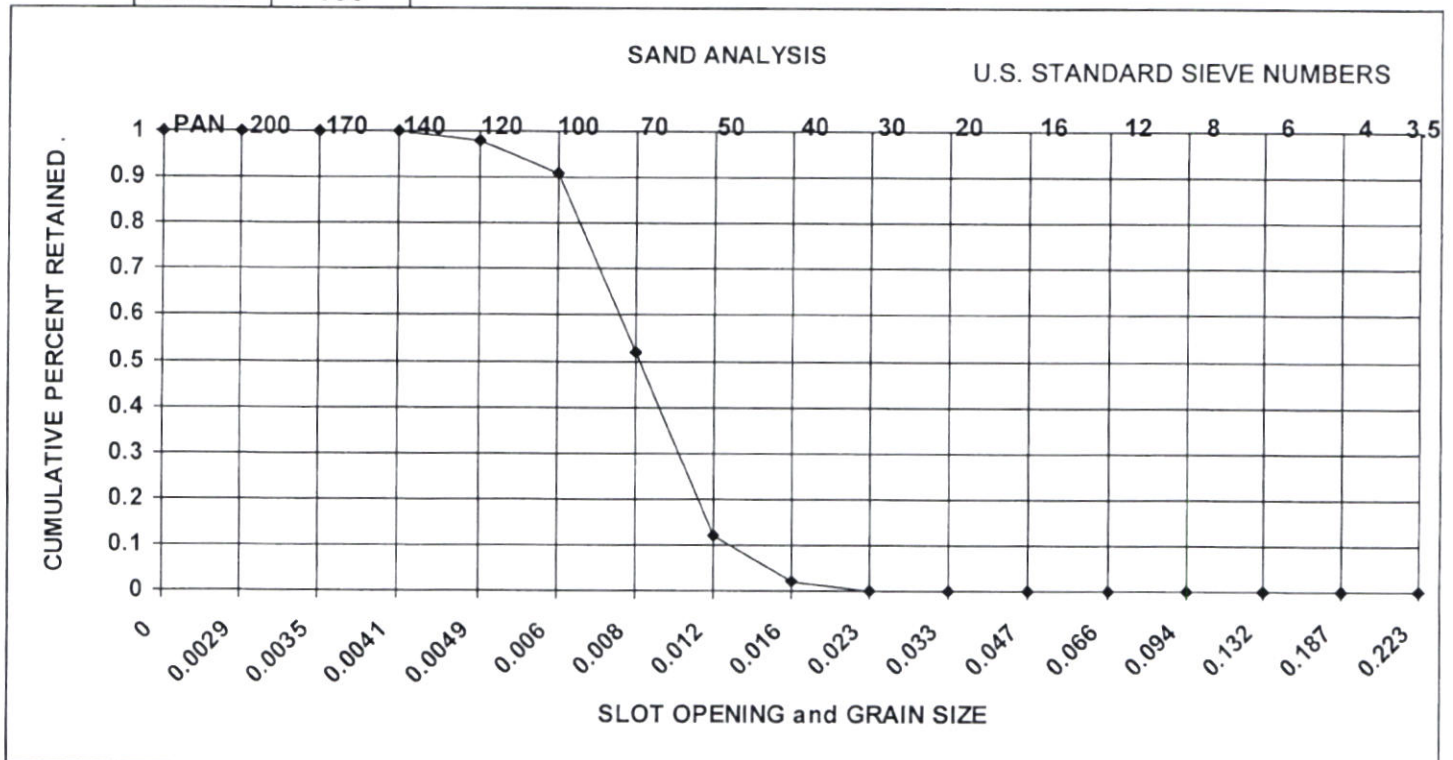
Median Gravel Size 0.0410

Calculated Gravel Pack x6 0.049 x4 0.033

Recommended Slot Gravel
.020 12-20 (.066-.0331)

Recommended .016 16-30 (.047-.023)

Natural Development 40 % Retention
Slot Recommendation 0.0092



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Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

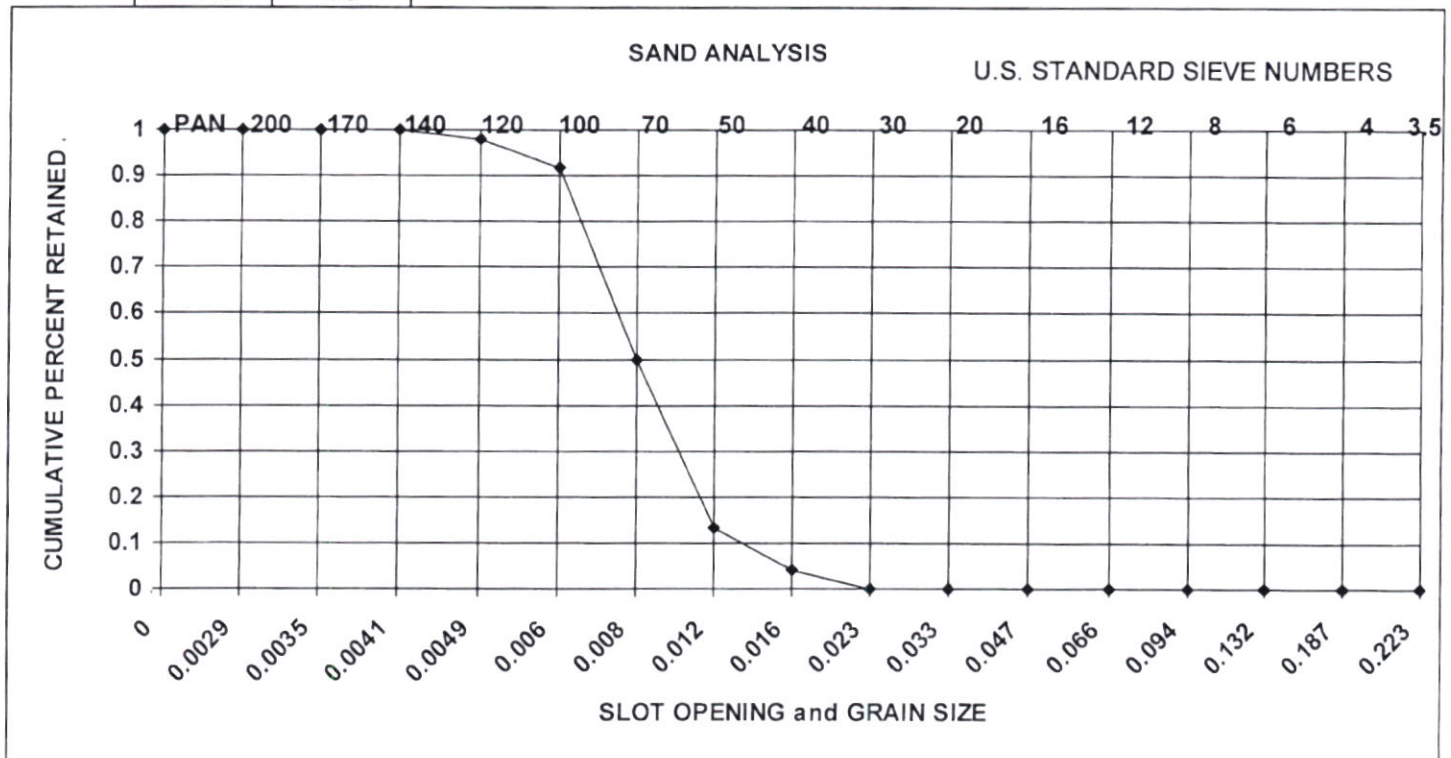
U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	4	4%	4%
50	0.012	9	9%	13%
70	0.008	36	37%	50%
100	0.006	41	42%	92%
120	0.0049	6	6%	98%
140	0.0041	2	2%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		98		

Remarks

Depth (Beginning) 710 Depth (Ending) 720
 Uniformity Coefficient D60/D10 = 1.493
 D60 = 0.0091 D10 = 0.0061
 50% Point 0.008 5*50% Pt 0.0400
 Median Gravel Size 0.0400
 Calculated Gravel Pack $\times 6$ 0.048 $\times 4$ 0.032

	Slot	Gravel
Recommended	.020	12-20 (.066-.0331)
Recommended	.016	16-30 (.047-.023)

Natural Development 40 % Retention
 Slot Recommendation 0.0091



Alloy Machine Works, Inc.
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Houston, TX 77073

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Sold To: Holly Water Well
Address: 2928 State Highway 19
City, St Zip: Huntsville, TX

Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	0	0%	0%
50	0.012	10	10%	10%
70	0.008	36	37%	47%
100	0.006	40	41%	89%
120	0.0049	8	8%	97%
140	0.0041	3	3%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		97		

Remarks

Depth (Beginning) 720 Depth (Ending) 730

Uniformity Coefficient D60/D10 = 1.5117

D60 = 0.0088 D10 = 0.0058

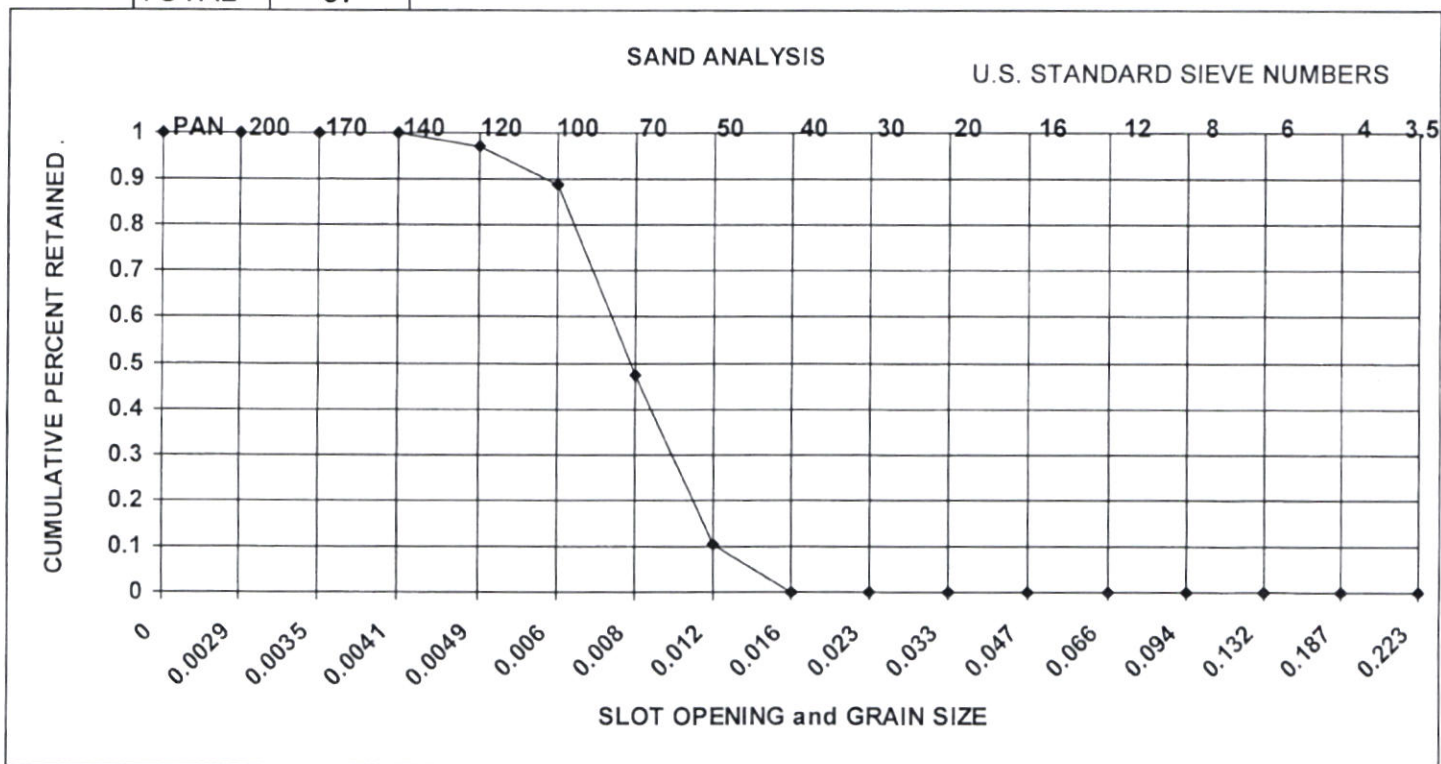
50% Point 0.0079 5*50% Pt 0.0394

Median Gravel Size 0.0394

Calculated Gravel Pack x6 0.047 x4 0.032

	Slot	Gravel
Recommended	.020	12-20 (.066-.0331)
Recommended	.016	16-30 (.047-.023)

Natural Development 40 % Retention
Slot Recommendation 0.0088



Alloy Machine Works, Inc.
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Houston, TX 77073

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7/20/2021

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Sold To: Holly Water Well
Address: 2928 State Highway 19
City, St Zip: Huntsville, TX

Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	9	10%	10%
40	0.016	33	35%	45%
50	0.012	29	31%	76%
70	0.008	13	14%	89%
100	0.006	8	9%	98%
120	0.0049	2	2%	100%
140	0.0041	0	0%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		94		

Remarks

Depth (Beginning) 730 Depth (Ending) 740

Uniformity Coefficient D60/D10 = 2.1571

D60 = 0.0169 D10 = 0.0078

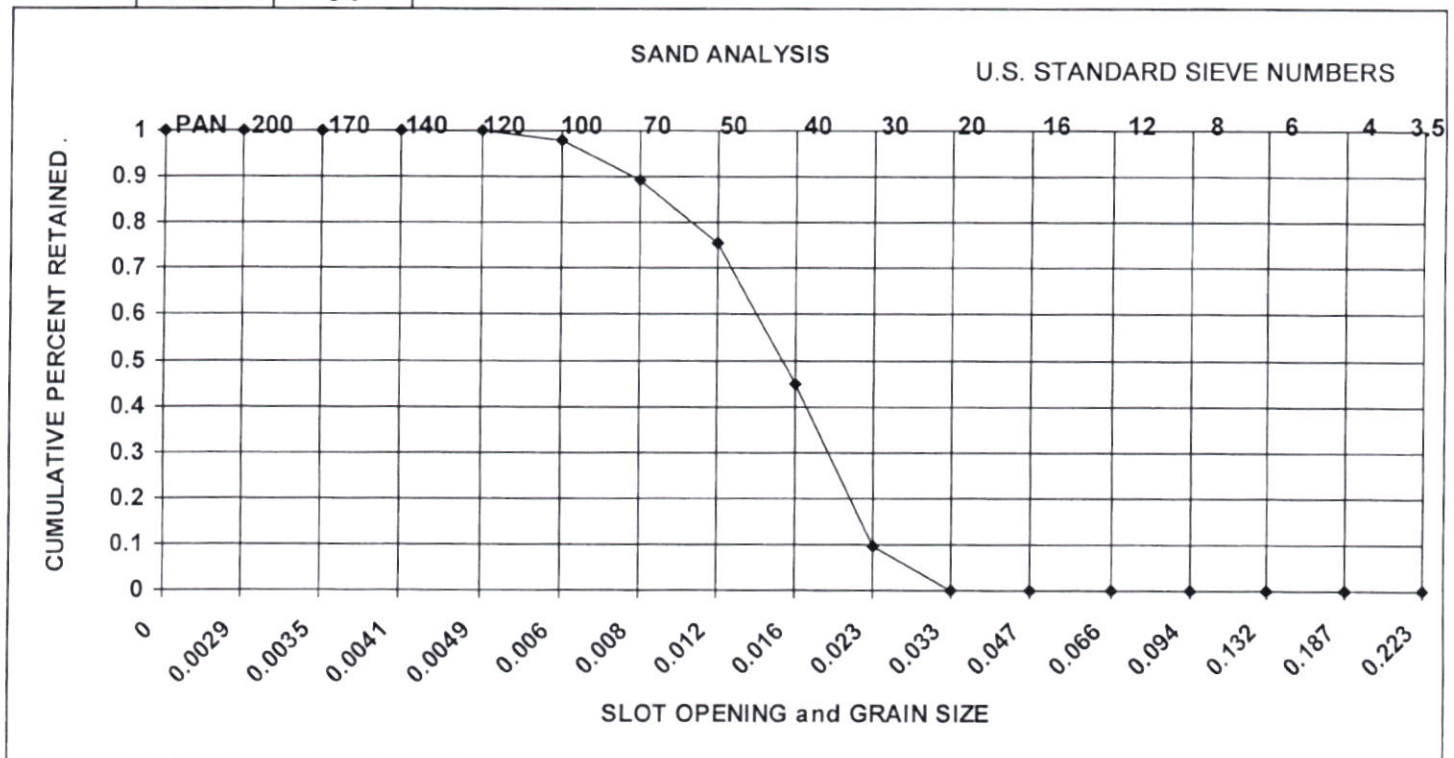
50% Point 0.0153 5*50% Pt 0.0766

Median Gravel Size 0.0766

Calculated Gravel Pack $\times 6$ 0.092 $\times 4$ 0.061

Recommended Slot .030 Gravel 8-12 (.093-.066)

Natural Development 40 % Retention
Slot Recommendation 0.0169



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Ship To:
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Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	12	12%	12%
40	0.016	38	38%	50%
50	0.012	31	31%	81%
70	0.008	8	8%	89%
100	0.006	5	5%	94%
120	0.0049	2	2%	96%
140	0.0041	2	2%	98%
170	0.0035	2	2%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		100		

Remarks

Depth (Beginning) 740 Depth (Ending) 750

Uniformity Coefficient D60/D10 = 2.3476

D60 = 0.0178 D10 = 0.0076

50% Point 0.016 5*50% Pt 0.0800

Median Gravel Size 0.0800

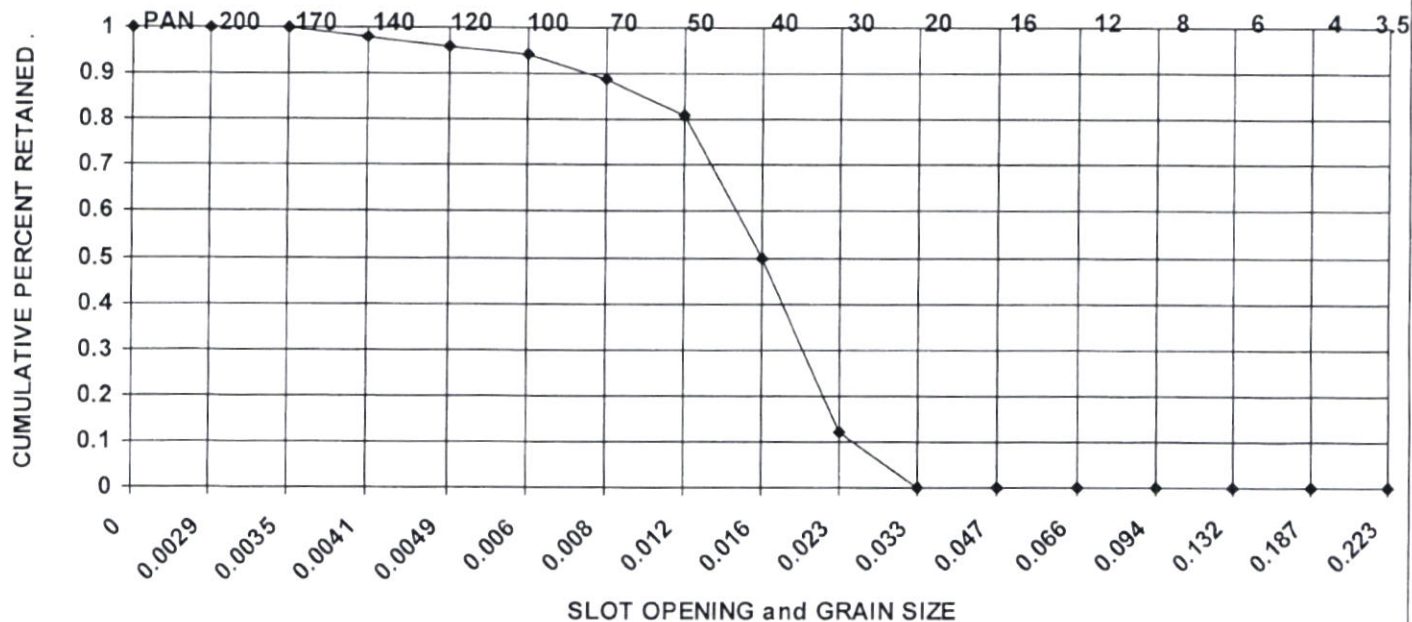
Calculated Gravel Pack $\times 6$ 0.096 $\times 4$ 0.064

Recommended Slot Gravel
.030 8-12 (.093-.066)

Natural Development 40 % Retention
Slot Recommendation 0.0178

SAND ANALYSIS

U.S. STANDARD SIEVE NUMBERS



Alloy Machine Works, Inc.
18102 E. Hardy Rd.
Houston, TX 77073

Date Run:
7/20/2021

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Fax:

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Well: DOS AQUA

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3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	4	4%	4%
30	0.023	6	6%	10%
40	0.016	27	27%	37%
50	0.012	28	28%	65%
70	0.008	19	19%	84%
100	0.006	11	11%	95%
120	0.0049	2	2%	97%
140	0.0041	3	3%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		100		

Remarks

Depth (Beginning) 750 Depth (Ending) 760

Uniformity Coefficient D60/D10 = 2.2538

D60 = 0.0156 D10 = 0.0069

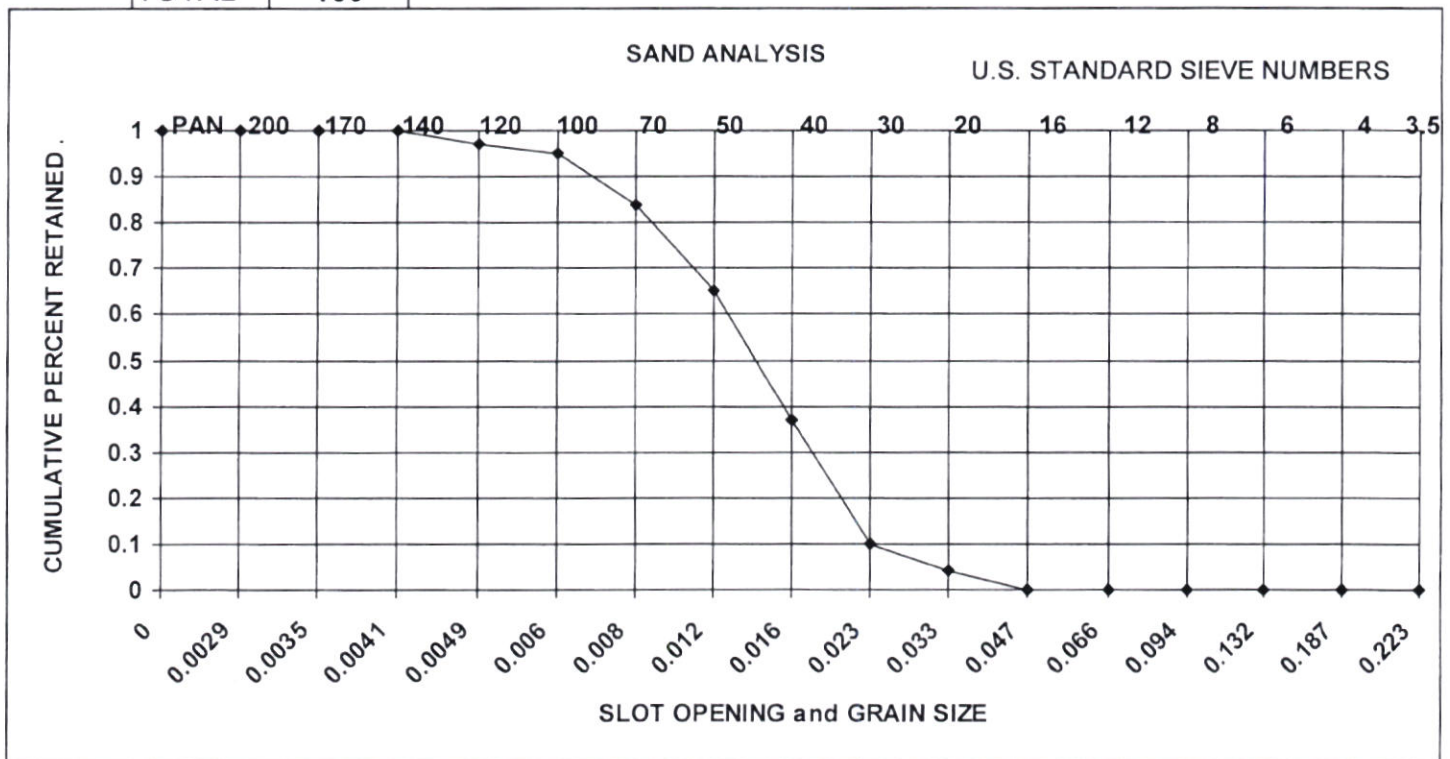
50% Point 0.0141 5*50% Pt 0.0707

Median Gravel Size 0.0707

Calculated Gravel Pack $\times 6$ 0.085 $\times 4$ 0.057

Recommended Slot Gravel
.030 8-12 (.093-.066)

Natural Development 40 % Retention
Slot Recommendation 0.0156



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Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	9	9%	9%
50	0.012	31	30%	38%
70	0.008	40	38%	76%
100	0.006	20	19%	95%
120	0.0049	3	3%	98%
140	0.0041	2	2%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		105		

Remarks

Depth (Beginning) 760 Depth (Ending) 770

Uniformity Coefficient D60/D10 = 1.8015

D60 = 0.0118 D10 = 0.0066

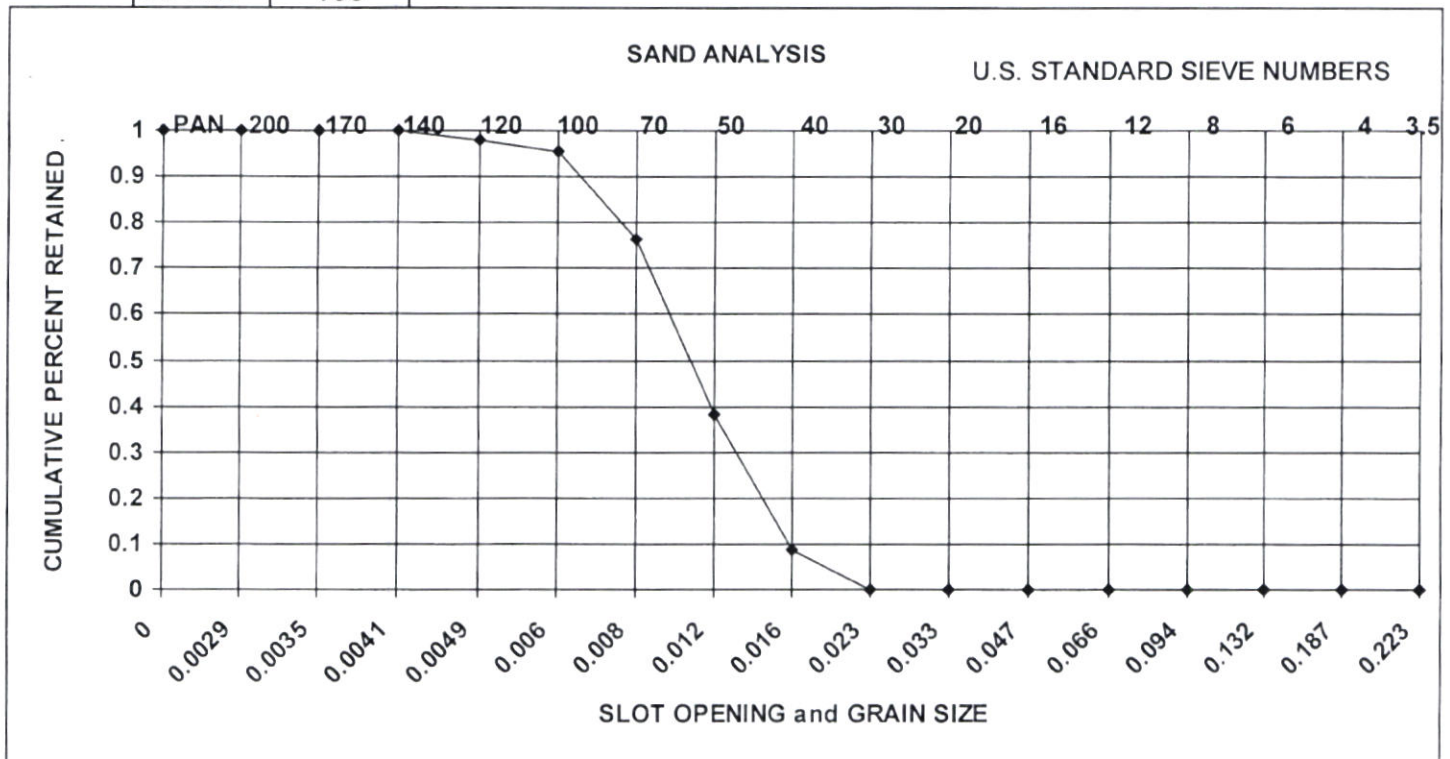
50% Point 0.0108 5*50% Pt 0.0538

Median Gravel Size 0.0538

Calculated Gravel Pack $\times 6$ 0.065 $\times 4$ 0.043

Recommended Slot Gravel
.020 12-20 (.066-.0331)

Natural Development 40 % Retention
Slot Recommendation 0.0118



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Houston, TX 77073

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7/20/2021

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Ship To:
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CSZ:
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Driller:
Engineer:
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U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	3	3%	3%
40	0.016	7	7%	10%
50	0.012	30	30%	40%
70	0.008	39	39%	79%
100	0.006	18	18%	97%
120	0.0049	3	3%	100%
140	0.0041	0	0%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		100		

Remarks

Depth (Beginning) 770 Depth (Ending) 780

Uniformity Coefficient D60/D10 = 1.7705

D60 = 0.012 D10 = 0.0068

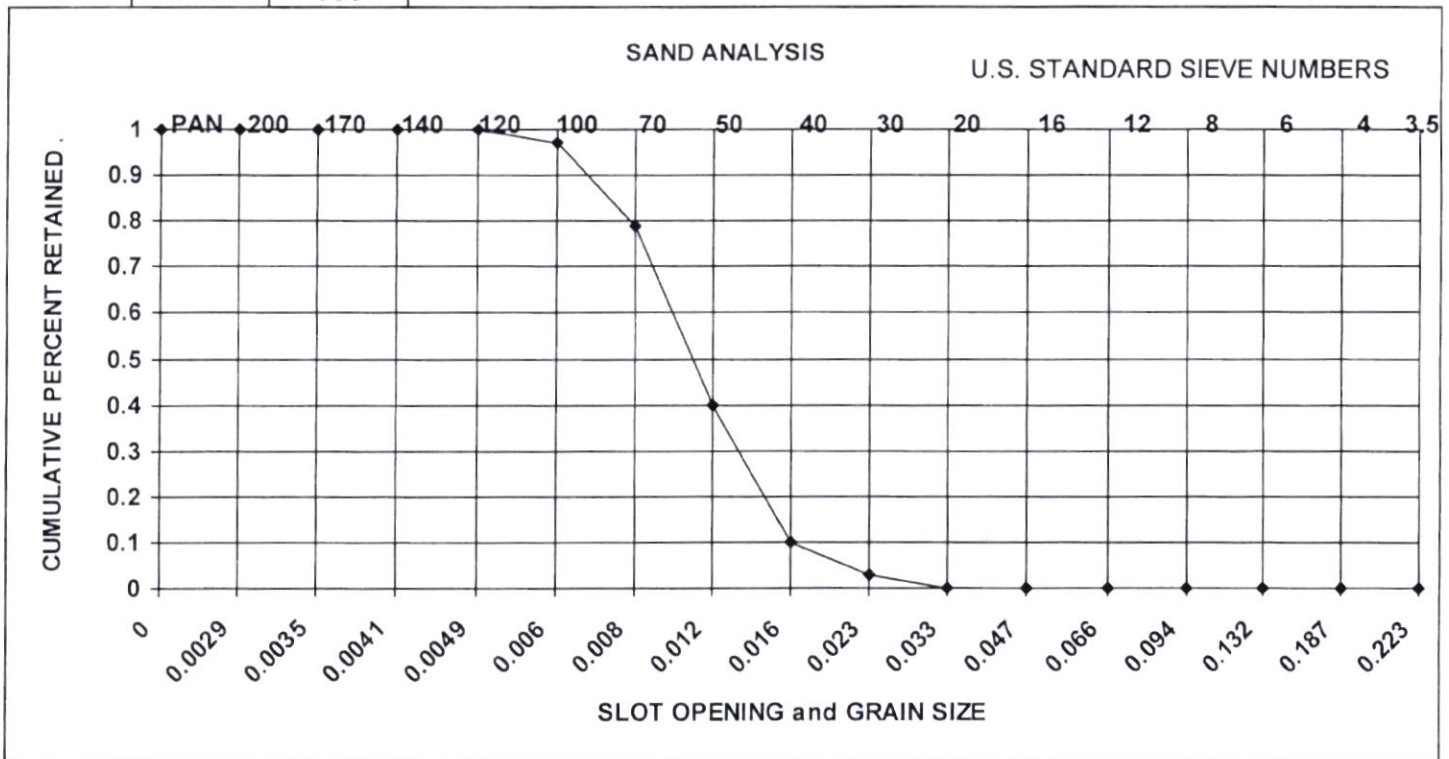
50% Point 0.011 5*50% Pt 0.0549

Median Gravel Size 0.0549

Calculated Gravel Pack x6 0.066 x4 0.044

Recommended Slot .020 Gravel 12-20 (.066-.0331)

Natural Development 40 % Retention
Slot Recommendation 0.0120



Alloy Machine Works, Inc.
18102 E. Hardy Rd.
Houston, TX 77073

Date Run:
7/20/2021

Ph (800) 577-5068
Ph (281) 233-0214
Fax (281) 233-0487

Sold To: Holly Water Well
Address: 2928 State Highway 19
City, St Zip: Huntsville, TX

Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	2	2%	2%
40	0.016	5	5%	7%
50	0.012	26	26%	33%
70	0.008	41	41%	73%
100	0.006	20	20%	93%
120	0.0049	3	3%	96%
140	0.0041	2	2%	98%
170	0.0035	2	2%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		101		

Remarks

Depth (Beginning) 780 Depth (Ending) 790

Uniformity Coefficient D60/D10 = 1.7873

D60 = 0.0113 D10 = 0.0063

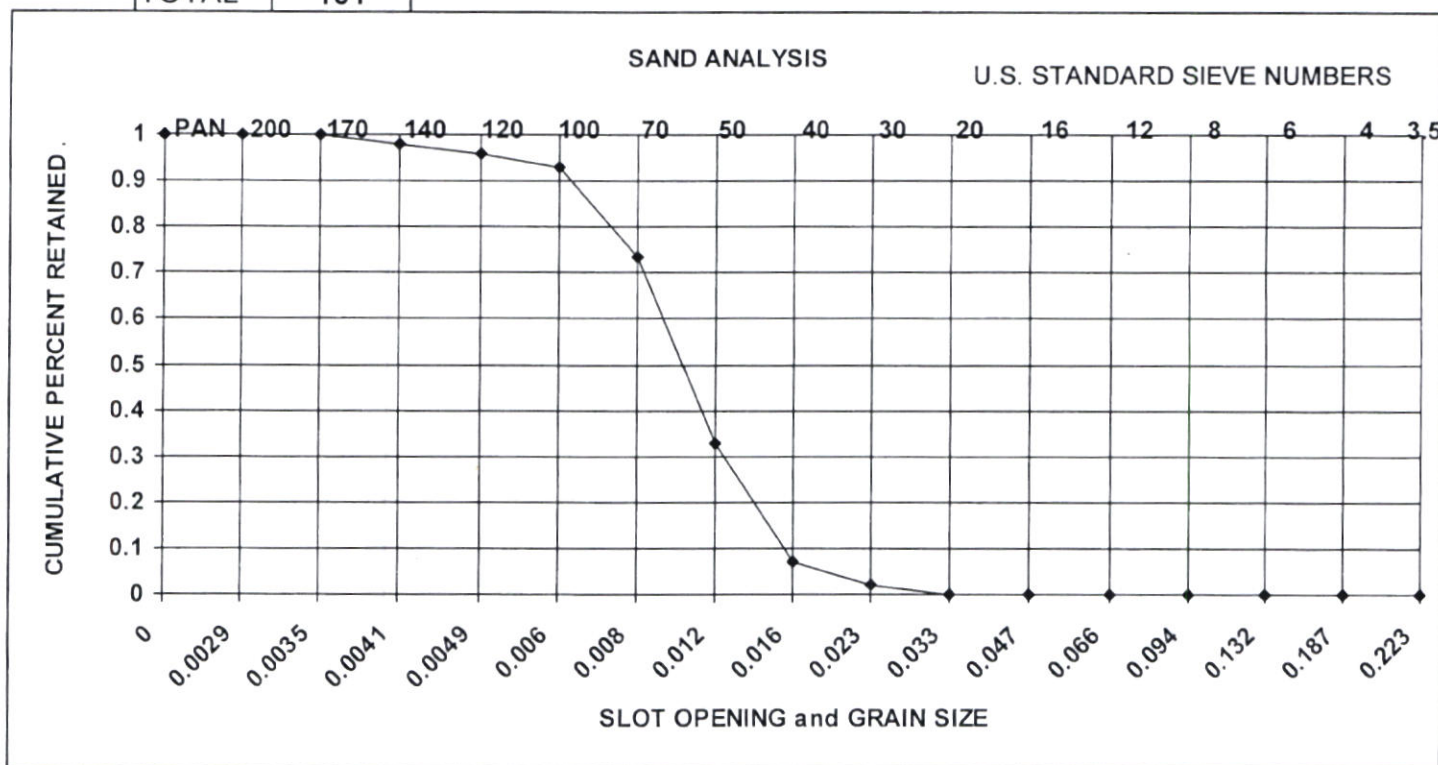
50% Point 0.0103 5*50% Pt 0.0515

Median Gravel Size 0.0515

Calculated Gravel Pack $\times 6$ 0.062 $\times 4$ 0.041

	Slot	Gravel
Recommended	.020	12-20 (.066-.033)
Recommended	.016	16-30 (.047-.023)

Natural Development 40 % Retention
Slot Recommendation 0.0113



Alloy Machine Works, Inc.
18102 E. Hardy Rd.
Houston, TX 77073

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7/20/2021

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Sold To: Holly Water Well
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Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	3	3%	3%
50	0.012	15	15%	18%
70	0.008	40	41%	59%
100	0.006	34	35%	94%
120	0.0049	4	4%	98%
140	0.0041	2	2%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		98		

Remarks

Depth (Beginning) 790 Depth (Ending) 800

Uniformity Coefficient D60/D10 = 1.5875

D60 = 0.0099 D10 = 0.0062

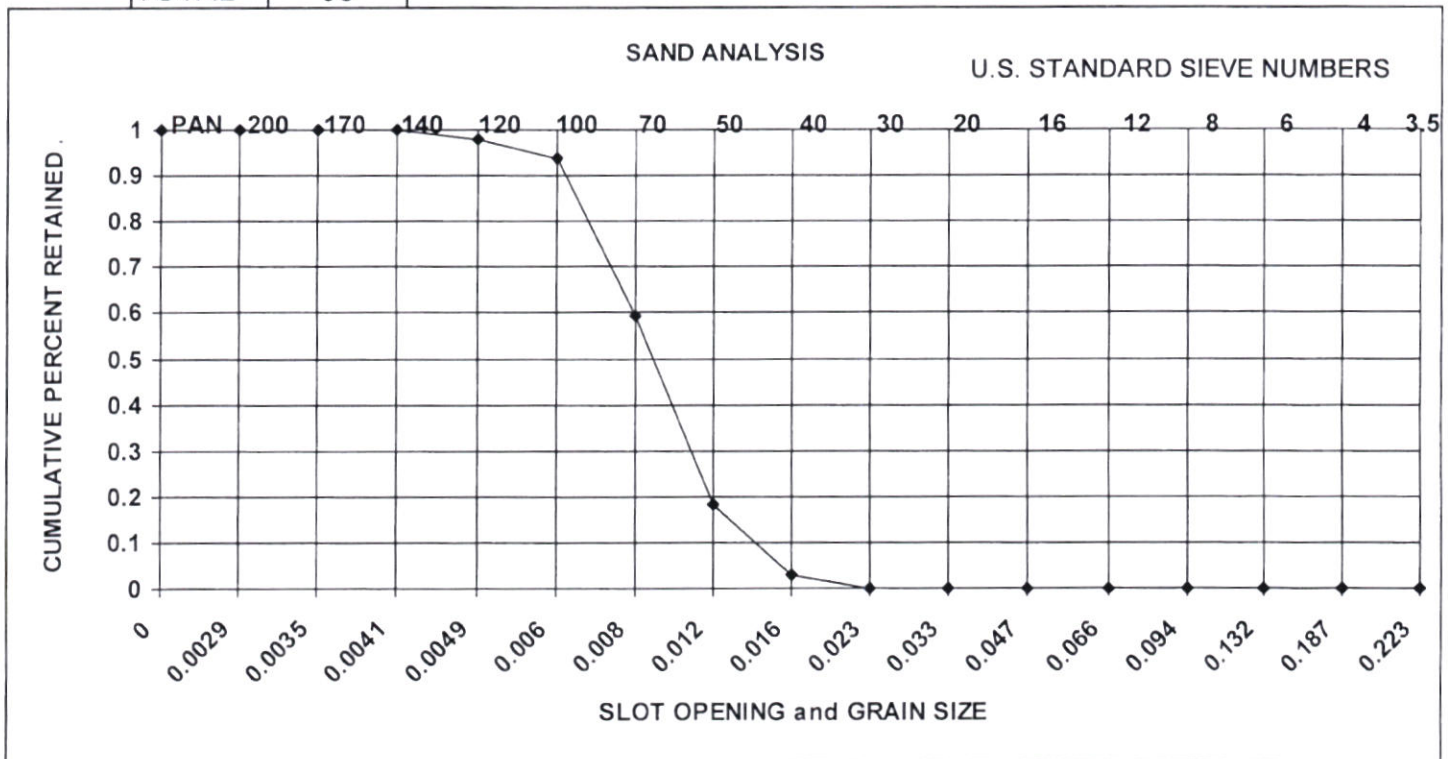
50% Point 0.0089 5*50% Pt 0.0445

Median Gravel Size 0.0445

Calculated Gravel Pack $\frac{x6}{0.053}$ $\frac{x4}{0.036}$

	Slot	Gravel
Recommended	.020	12-20 (.066-.0331)
Recommended	.016	16-30 (.047-.023)

Natural Development 40 % Retention
Slot Recommendation 0.0099



Alloy Machine Works, Inc.
18102 E. Hardy Rd.
Houston, TX 77073

Date Run:
7/20/2021

Ph (800) 577-5068
Ph (281) 233-0214
Fax (281) 233-0487

Sold To: Holly Water Well
Address: 2928 State Highway 19
City, St Zip: Huntsville, TX

Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	6	6%	6%
50	0.012	25	25%	31%
70	0.008	45	45%	75%
100	0.006	20	20%	95%
120	0.0049	3	3%	98%
140	0.0041	2	2%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		101		

Remarks

Depth (Beginning) 840 Depth (Ending) 850

Uniformity Coefficient D60/D10 = 1.715

D60 = 0.0112 D10 = 0.0065

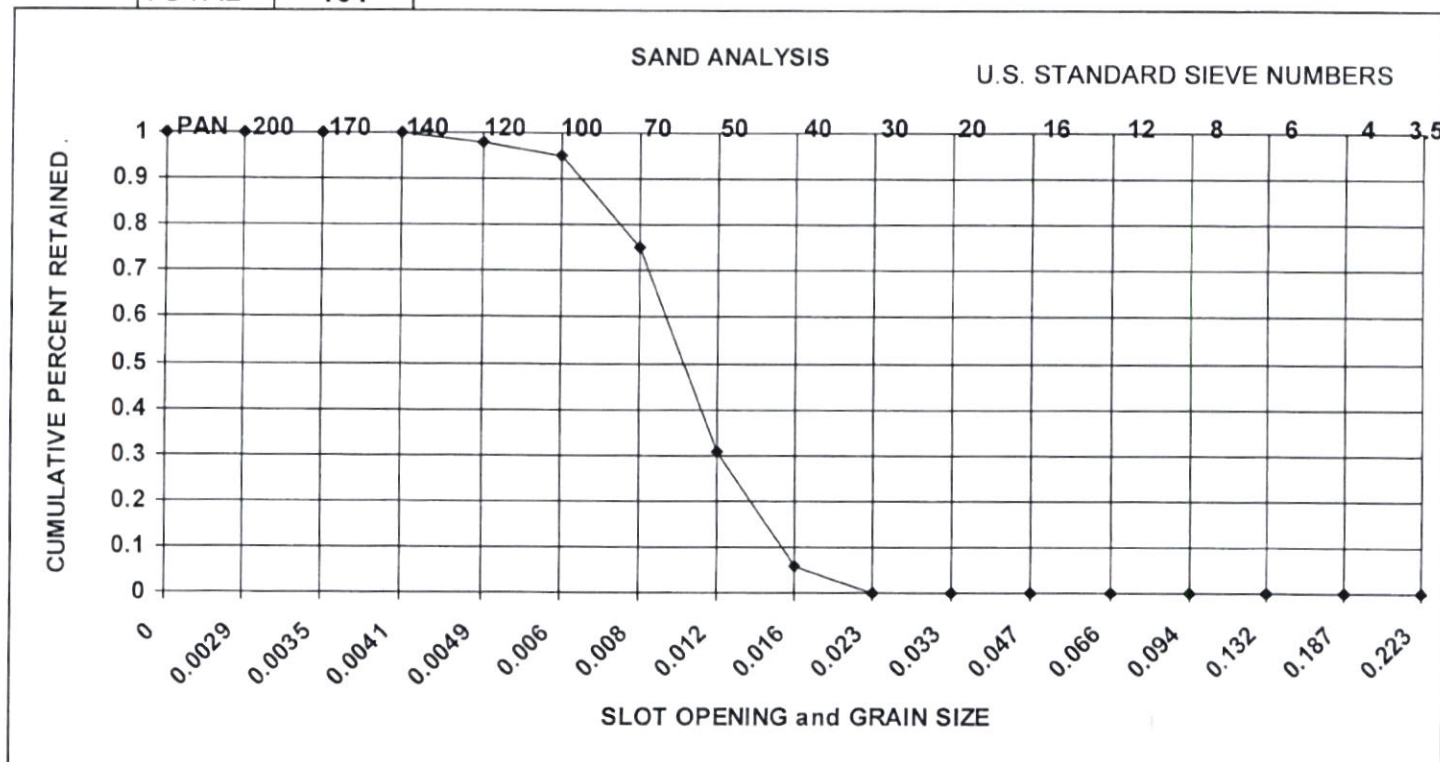
50% Point 0.0103 5*50% Pt 0.0513

Median Gravel Size 0.0513

Calculated Gravel Pack $\times 6$ 0.062 $\times 4$ 0.041

Recommended Slot Gravel
.020 12-20 (.066-.0331)

Natural Development 40 % Retention
Slot Recommendation 0.0112



Alloy Machine Works, Inc.
18102 E. Hardy Rd.
Houston, TX 77073

Date Run:
7/20/2021

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Ph (281) 233-0214
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Sold To: Holly Water Well
Address: 2928 State Highway 19
City, St Zip: Huntsville, TX

Ship To:
Address:
CSZ:
Contact:
Phone:
Fax:

Driller:
Engineer:
Well: DOS AQUA

U.S. SIEVE NO.	SLOT OPENING INCHES	WEIGHT RETAINED	PERCENT RETAINED	CUMULATIVE RETENTION
3.5	0.223	0	0%	0%
4	0.187	0	0%	0%
6	0.132	0	0%	0%
8	0.094	0	0%	0%
12	0.066	0	0%	0%
16	0.047	0	0%	0%
20	0.033	0	0%	0%
30	0.023	0	0%	0%
40	0.016	7	7%	7%
50	0.012	22	22%	29%
70	0.008	44	44%	74%
100	0.006	21	21%	95%
120	0.0049	3	3%	98%
140	0.0041	2	2%	100%
170	0.0035	0	0%	100%
200	0.0029	0	0%	100%
PAN	0	0	0%	100%
TOTAL		99		

Remarks

Depth (Beginning) 850 Depth (Ending) 860

Uniformity Coefficient D60/D10 = 1.7067

D60 = 0.0110 D10 = 0.0065

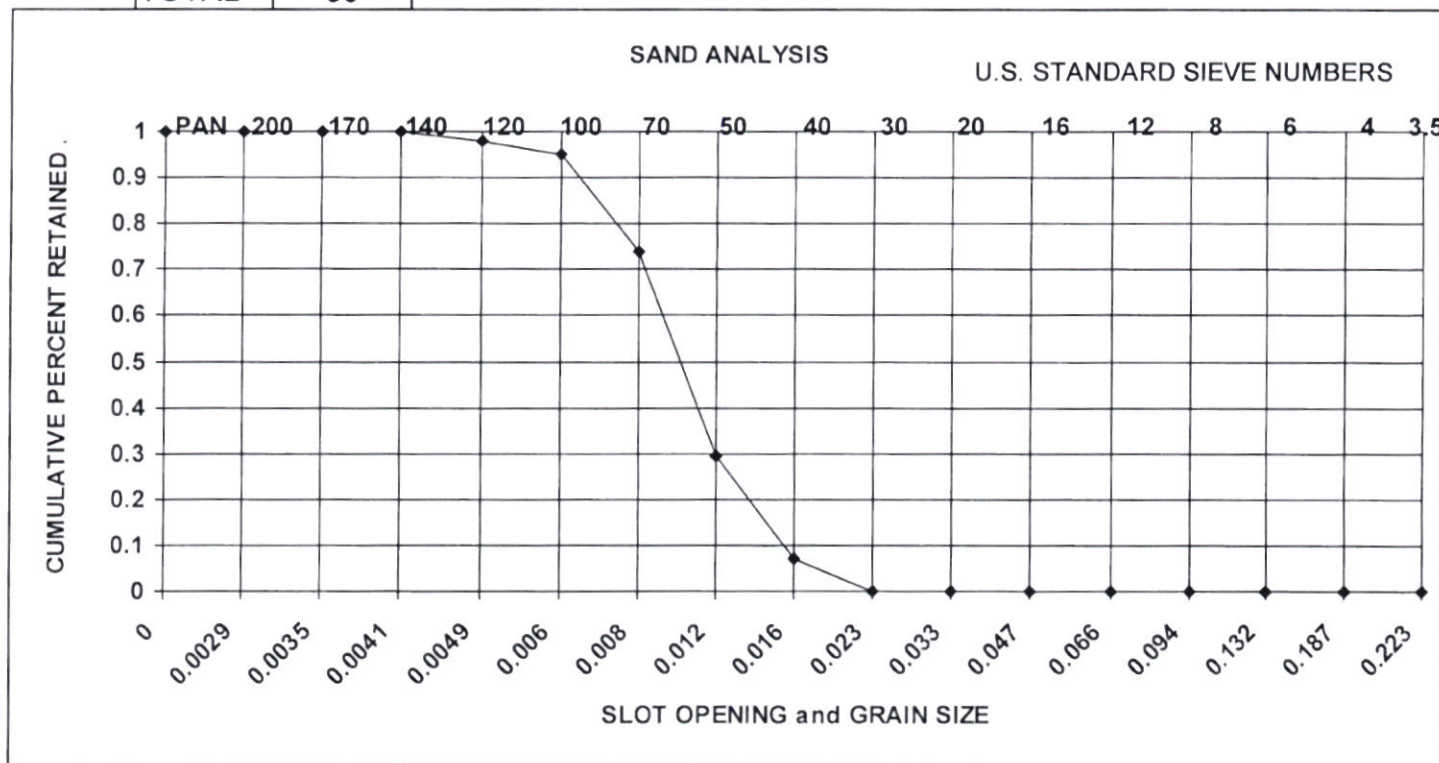
50% Point 0.0101 5*50% Pt 0.0507

Median Gravel Size 0.0507

Calculated Gravel Pack $\frac{x6}{0.061}$ $\frac{x4}{0.041}$

Recommended Slot .020 Gravel 12-20 (.066-.0331)

Natural Development 40 % Retention
Slot Recommendation 0.0110



HWW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021 11:52

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981476_r10_05_ProjectQC	Ana-Lab Project P:981476 C:HWW1 Project Quality Control Groups	9
981476_r99_09_CoC__1_of_1	Ana-Lab CoC HWW1 981476_1_of_1	4
Total Pages:		18

Email: projectmanger@ana-lab.com



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SAMPLE CROSS REFERENCE

Project

981476

Printed

9/30/2021

Page 1 of 1
DW TRIPTICKET

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Sample	Sample ID	Taken	Time	Received
2024049	DOS AGUAS Well Short List	09/16/2021	11:50:00	09/17/2021

Bottle 01 Polyethylene 1/2 gal (White)

Bottle 02 16 oz HNO3 Metals Plastic

Bottle 03 Prepared Bottle: ICP Preparation for Metals (Batch 973106) Volume: 50.00000 mL <== Derived from 02 (50 ml)

Bottle 04 Prepared Bottle: ICP Preparation for Metals (Batch 973106) Volume: 50.00000 mL <== Derived from 02 (50 ml)

Bottle 05 Prepared Bottle: ICP Preparation for Metals (Batch 973106) Volume: 50.00000 mL <== Derived from 02 (50 ml)

Method	Bottle	PrepSet	Preparation	QcGroup	Analytical
EPA 300.0 2.1	01	972853	09/20/2021	972853	09/20/2021
EPA 300.0 2.1	01	972376	09/17/2021	972376	09/17/2021
EPA 300.0 2.1	01	972378	09/17/2021	972378	09/17/2021
EPA 200.8 5.4	03	973106	09/23/2021	973913	09/28/2021
EPA 200.8 5.4	03	973106	09/23/2021	973697	09/27/2021
EPA 200.7 4.4	03	973106	09/23/2021	973984	09/29/2021
EPA 200.7 4.4	03	973106	09/23/2021	973863	09/28/2021
SM 2320 B-2011	01	973574	09/27/2021	973574	09/27/2021
SM 2540 C-2011	01	972911	09/21/2021	972911	09/21/2021
SM 4500-H+ B-2011		972130	09/16/2021	972130	09/16/2021

Email: projectmanger@ana-lab.com



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HWW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Page 1 of 4

Project
981476

Printed: 09/30/2021

RESULTS

Sample Results

2024049 DOS AGUAS Well Short List

Received: 09/17/2021

Drinking Water

Collected by: MRB
Taken: 09/16/2021

Ana-Lab
11:50:00

PO:

		Prepared:	09/30/2021	07:50:59	Calculated	09/30/2021	07:50:59	CAL
Parameter	Results	Units	RL	Flags	CAS	Bottle		
z Calcium as CaCO ₃	174	mg/L	0.249					
EPA 200.7.4.4		Prepared:	973106	09/23/2021	13:45:00	Analyzed	973863	09/28/2021 17:23:00 JAB
Parameter	Results	Units	RL	Flags	CAS	Bottle		
NELAC Iron, Total	0.134	mg/L	0.025		7439-89-6	03		
EPA 200.7.4.4		Prepared:	973106	09/23/2021	13:45:00	Analyzed	973984	09/29/2021 09:02:00 ESG
Parameter	Results	Units	RL	Flags	CAS	Bottle		
z Calcium	69.9	mg/L	0.100		7440-70-2	03		
NELAC Magnesium, Total	6.58	mg/L	0.025		7439-95-4	03		
NELAC Sodium	39.6	mg/L	0.500		7440-23-5	03		
EPA 200.8.5.4		Prepared:	973106	09/23/2021	13:45:00	Analyzed	973697	09/27/2021 15:52:00 JAB
Parameter	Results	Units	RL	Flags	CAS	Bottle		
NELAC Arsenic, Total	0.0027	mg/L	0.0005	B	7440-38-2	03		
NELAC Copper, Total	<0.0005	mg/L	0.0005		7440-50-8	03		
NELAC Lead, Total	<0.00025	mg/L	0.00025		7439-92-1	03		
NELAC Manganese, Total	0.0396	mg/L	0.001		7439-96-5	03		
NELAC Zinc, Total	0.050	mg/L	0.003		7440-66-6	03		
EPA 200.8.5.4		Prepared:	973106	09/23/2021	13:45:00	Analyzed	973913	09/28/2021 21:02:00 JAB
Parameter	Results	Units	RL	Flags	CAS	Bottle		
NELAC Aluminum, Total	0.0195	mg/L	0.005		7429-90-5	03		
EPA 300.0.2.1		Prepared:	972376	09/17/2021	16:21:00	Analyzed	972376	09/17/2021 16:21:00 MDE
Parameter	Results	Units	RL	Flags	CAS	Bottle		



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HWW1-G

Page 2 of 4

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed: 09/30/2021

2024049 DOS AGUAS Well Short List

Received: 09/17/2021

Drinking Water Collected by: MRB Ana-Lab
Taken: 09/16/2021 11:50:00

PO:

EPA 300.0 2.1		Prepared:	972376	09/17/2021	16:21:00	Analyzed	972376	09/17/2021	16:21:00	MDE
	Parameter	Results	Units	RL		Flags	CAS		Bottle	
NELAC	Fluoride	0.082	mg/L	0.100		J			01	
EPA 300.0 2.1		Prepared:	972378	09/17/2021	16:21:00	Analyzed	972378	09/17/2021	16:21:00	MDE
	Parameter	Results	Units	RL		Flags	CAS		Bottle	
NELAC	DW Nitrate-Nitrogen Total	0.788	mg/L	0.0304			14797-55-8		01	
NELAC	DW Nitrite-Nitrogen, Total	<0.020	mg/L	0.020					01	
EPA 300.0 2.1		Prepared:	972853	09/20/2021	21:27:00	Analyzed	972853	09/20/2021	21:27:00	MDE
	Parameter	Results	Units	RL		Flags	CAS		Bottle	
NELAC	Chloride	31.4	mg/L	3.00					01	
NELAC	Sulfate	12.9	mg/L	3.00					01	
SM 2320 B-2011		Prepared:	973574	09/27/2021	08:00:00	Analyzed	973574	09/27/2021	08:00:00	API
	Parameter	Results	Units	RL		Flags	CAS		Bottle	
z	Total Alkalinity (as CaCO3)	195	mg/L	1.00					01	
SM 2540 C-2011		Prepared:	972911	09/21/2021	08:45:00	Analyzed	972911	09/21/2021	08:45:00	PCH
	Parameter	Results	Units	RL		Flags	CAS		Bottle	
NELAC	Total Dissolved Solids	276	mg/L	10.0					01	
SM 4500-H+ B-2011		Prepared:	972130	09/16/2021	11:50:00	Analyzed	972130	09/16/2021	11:50:00	MRB
	Parameter	Results	Units	RL		Flags	CAS		Bottle	
z	pH (Onsite)	7.3	SU							

Sample Preparation

2024049 DOS AGUAS Well Short List

Received: 09/17/2021

09/16/2021



Report Page 4 of 19

HWW1-G

Page 3 of 4

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed: 09/30/2021

2024049 DOS AGUAS Well Short List

Received: 09/17/2021

09/16/2021

Prepared: 09/17/2021 11:14:00 Analyzed: 09/17/2021 11:14:00 CCP

2 Bottle pH <2 SU 02
Prepared: 09/20/2021 13:16:01 Calculated: 09/20/2021 13:16:01 CAL

2 Environmental Fee (per Project) Verified

EPA 200.2 2.8 Prepared: 973106 09/23/2021 13:45:00 Analyzed: 973106 09/23/2021 13:45:00 TES

2 Liquid Metals Digestion 50/50 ml 02
SM 2540 C-2011 Prepared: 972509 09/21/2021 08:45:00 Analyzed: 972509 09/21/2021 08:45:00 PCH

NELAC Total Dissolved Solids Started Started

2024051 TRIP TICKET

Received: 09/17/2021

09/16/2021

Prepared: 09/20/2021 13:16:03 Calculated: 09/20/2021 13:16:03 CAL

Pickup/Sampling/Transport Verified



Report Page 5 of 19

2600 Dudley Rd. Kilgore, Texas 75662
R: 3306 State Highway 135 N, Kilgore, TX 75662
Office: 903-984-0551 * Fax: 903-984-5914

HWW1-G

Page 4 of 4

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project

981476

Printed: 09/30/2021

Qualifiers:

J - Analyte detected below quantitation limit

B - Analyte detected in the associated method blank

We report results on an As Received (or Wet) basis unless marked 'Dry Weight'. Unless otherwise noted, testing was performed at Ana-lab corporate laboratory which holds International, Federal, and state accreditations. Please see

<https://www.ana-lab-work.com/index.php/accreditations/>

These analytical results relate to the sample tested. This report may NOT be reproduced EXCEPT in FULL without written approval of Ana-Lab Corp. Unless otherwise specified, these test results meet the requirements of NELAC

RL is the Reporting Limit (sample specific quantitation limit) and is at or above the Method Detection Limit (MDL). CAS is Chemical Abstract Service number. RL is our Reporting Limit, or Minimum Quantitation Level. The RL takes into account the Instrument Detection Limit (IDL), Method Detection Limit (MDL), and Practical Quantitation Limit (PQL), and any dilutions and/or concentrations performed during sample preparation (EQL). Our analytical result must be above this RL before we report a value in the 'Results' column of our report (without a 'J' flag). Otherwise, we report ND (Not Detected above RL), because the result is "<" (less than) the number in the RL column. MAL is Minimum Analytical Level and is typically from regulatory agencies. Unless we report a result in the result column, or interferences prevent it, we work to have our RL at or below the MAL.



Trey Peery, MA, Project Manager



Report Page 6 of 19

QUALITY CONTROL

HWW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021

Analytical Set 972130

SM 4500-H+ B-2011

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
pH (Onsite)	6.0	6.0	SU	100	90 - 110	
pH (Onsite)	6.0	6.0	SU	100	90 - 110	

Duplicate

Parameter	Sample	Result	Unknown	Unit	RPD	Limit%
pH (Onsite)	2024049	7.3	7.3	SU		20

Standard

Parameter	Sample	Reading	Known	Units	Recover%	Limits%	File
pH (Onsite)	972130	8.0	8.0	SU	100	90 - 110	
pH (Onsite)	972130	8.0	8.0	SU	100	90 - 110	

Analytical Set 972911

SM 2540 C-2011

Blank

Parameter	PrepSet	Reading	MDL	MQL	Units	File
Total Dissolved Solids	972911	ND	5.00	5.00	mg/L	122746022

ControlBlk

Parameter	PrepSet	Reading	MDL	MQL	Units	File
Total Dissolved Solids	972911	-0.0003			grams	122746009

Duplicate

Parameter	Sample	Result	Unknown	Unit	RPD	Limit%
Total Dissolved Solids	2023831	132	138	mg/L	4.44	20.0

LCS

Parameter	PrepSet	Reading	Known	Units	Recover%	Limits	File
Total Dissolved Solids	972911	192	200	mg/L	96.0	85.0 - 115	122746023

Standard

Parameter	Sample	Reading	Known	Units	Recover%	Limits%	File
Total Dissolved Solids		92.0	100	mg/L	92.0	90.0 - 110	122746010

Analytical Set 972376

EPA 300.0 2.1

AWRL/MRL C

Parameter	Reading	Known	Units	Recover%	Limits%	File
Fluoride	0.102	0.100	mg/L	102	50.0 - 150	122734025

Blank

Parameter	PrepSet	Reading	MDL	MQL	Units	File
Fluoride	972376	ND	0.0433	0.100	mg/L	122734024

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Fluoride	10.1	10.0	mg/L	101	90.0 - 110	122734021



Report Page 7 of 19

QUALITY CONTROL

HW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Fluoride	10.1	10.0	mg/L	101	90.0 - 110	122734041
Fluoride	10.3	10.0	mg/L	103	90.0 - 110	122734050

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
Fluoride	972376	5.42	5.47	5.00	88.0 - 115	108	109	mg/L	0.918	20.0

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
Fluoride	2023807	9.55	9.89	ND	10.0	80.0 - 120	95.5	98.9	mg/L	3.50	20.0
Fluoride	2023808	10.9	10.4	0.310	10.0	80.0 - 120	106	101	mg/L	4.84	20.0

Analytical Set 972378

EPA 300.0 2.1

AWRL/MRL C

Parameter	Reading	Known	Units	Recover%	Limits%	File
DW Nitrate-Nitrogen Total	0.0244	0.0226	mg/L	108	70.0 - 130	122734071

Blank

Parameter	PrepSet	Reading	MDL	MQL	Units	File
DW Nitrate-Nitrogen Total	972378	ND	0.00541	0.0304	mg/L	122734070

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
DW Nitrate-Nitrogen Total	2.27	2.26	mg/L	100	90.0 - 110	122734067
DW Nitrate-Nitrogen Total	2.27	2.26	mg/L	100	90.0 - 110	122734081
DW Nitrate-Nitrogen Total	2.32	2.26	mg/L	103	90.0 - 110	122734084

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
DW Nitrate-Nitrogen Total	972378	1.18	1.19	1.13	70.0 - 115	104	105	mg/L	0.844	30.0

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
DW Nitrate-Nitrogen Total	2023807	3.30	3.33	1.05	2.26	70.0 - 130	99.6	101	mg/L	1.32	30.0
DW Nitrate-Nitrogen Total	2023808	2.52	2.45	0.0564	2.26	70.0 - 130	109	106	mg/L	2.88	30.0

Analytical Set 972853

EPA 300.0 2.1

Blank

Parameter	PrepSet	Reading	MDL	MQL	Units	File
Chloride	972853	ND	0.0385	0.300	mg/L	122745336
Sulfate	972853	ND	0.0871	0.100	mg/L	122745336

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Chloride	10.4	10.0	mg/L	104	90.0 - 110	122745333
Chloride	10.5	10.0	mg/L	105	90.0 - 110	122745348



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QUALITY CONTROL

HWWI-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Chloride	10.5	10.0	mg/L	105	90.0 - 110	122745357
Sulfate	10.3	10.0	mg/L	103	90.0 - 110	122745333
Sulfate	10.3	10.0	mg/L	103	90.0 - 110	122745348
Sulfate	10.2	10.0	mg/L	102	90.0 - 110	122745357

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
Chloride	972853	5.35	5.42	5.00	85.0 - 115	107	108	mg/L	1.30	20.0
Sulfate	972853	5.45	5.48	5.00	88.0 - 115	109	110	mg/L	0.549	20.0

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
Chloride	2022712	238	239	138	100	80.0 - 120	100	101	mg/L	0.995	20.0
Sulfate	2022712	280	277	175	100	80.0 - 120	105	102	mg/L	2.90	20.0
Chloride	2024366	197	197	146	50.0	80.0 - 120	102	102	mg/L	0	20.0
Sulfate	2024366	150	152	101	50.0	80.0 - 120	98.0	102	mg/L	4.00	20.0

Analytical Set 973697

EPA 200.8 5.4

Blank

Parameter	PrepSet	Reading	MDL	MQL	Units	File
Aluminum, Total	973106	ND	0.00204	0.005	mg/L	122769101
Aluminum, Total	973106	ND	0.00204	0.005	mg/L	122769115
Arsenic, Total	973106	ND	0.000359	0.0005	mg/L	122769101
Arsenic, Total	973106	0.000928	0.000359	0.0005	mg/L	122769115
Copper, Total	973106	ND	0.0005	0.001	mg/L	122769101
Copper, Total	973106	ND	0.0005	0.001	mg/L	122769115
Lead, Total	973106	ND	0.00025	0.0005	mg/L	122769101
Lead, Total	973106	ND	0.00025	0.0005	mg/L	122769115
Manganese, Total	973106	ND	0.000105	0.001	mg/L	122769101
Manganese, Total	973106	ND	0.000105	0.001	mg/L	122769115
Zinc, Total	973106	ND	0.001	0.003	mg/L	122769101
Zinc, Total	973106	0.00112	0.001	0.003	mg/L	122769115

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Arsenic, Total	0.0499	0.05	mg/L	99.8	90.0 - 110	122769114
Arsenic, Total	0.0507	0.05	mg/L	101	90.0 - 110	122769119
Arsenic, Total	0.051	0.05	mg/L	102	90.0 - 110	122769120
Arsenic, Total	0.0508	0.05	mg/L	102	90.0 - 110	122769121
Arsenic, Total	0.0504	0.05	mg/L	101	90.0 - 110	122769128
Arsenic, Total	0.0522	0.05	mg/L	104	90.0 - 110	122769138
Arsenic, Total	0.0522	0.05	mg/L	104	90.0 - 110	122769147
Arsenic, Total	0.0481	0.05	mg/L	96.2	90.0 - 110	122769151
Arsenic, Total	0.0503	0.05	mg/L	101	90.0 - 110	122769155



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QUALITY CONTROL

HW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project

981476

Printed 09/30/2021

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Arsenic, Total	0.0529	0.05	mg/L	106	90.0 - 110	122769165
Arsenic, Total	0.0493	0.05	mg/L	98.6	90.0 - 110	122769176
Arsenic, Total	0.0482	0.05	mg/L	96.4	90.0 - 110	122769186
Arsenic, Total	0.0487	0.05	mg/L	97.4	90.0 - 110	122769193
Copper, Total	0.0504	0.05	mg/L	101	90.0 - 110	122769114
Copper, Total	0.0494	0.05	mg/L	98.8	90.0 - 110	122769119
Copper, Total	0.049	0.05	mg/L	98.0	90.0 - 110	122769120
Copper, Total	0.0481	0.05	mg/L	96.2	90.0 - 110	122769121
Copper, Total	0.0483	0.05	mg/L	96.6	90.0 - 110	122769128
Copper, Total	0.0477	0.05	mg/L	95.4	90.0 - 110	122769138
Copper, Total	0.0462	0.05	mg/L	92.4	90.0 - 110	122769147
Copper, Total	0.0479	0.05	mg/L	95.8	90.0 - 110	122769151
Copper, Total	0.0465	0.05	mg/L	93.0	90.0 - 110	122769155
Copper, Total	0.0478	0.05	mg/L	95.6	90.0 - 110	122769165
Copper, Total	0.0455	0.05	mg/L	91.0	90.0 - 110	122769176
Copper, Total	0.0459	0.05	mg/L	91.8	90.0 - 110	122769186
Copper, Total	0.0467	0.05	mg/L	93.4	90.0 - 110	122769193
Copper, Total	0.0464	0.05	mg/L	92.8	90.0 - 110	122769204
Copper, Total	0.047	0.05	mg/L	94.0	90.0 - 110	122769225
Copper, Total	0.0472	0.05	mg/L	94.4	90.0 - 110	122769236
Copper, Total	0.0453	0.05	mg/L	90.6	90.0 - 110	122769247
Copper, Total	0.0463	0.05	mg/L	92.6	90.0 - 110	122769257
Copper, Total	0.0482	0.05	mg/L	96.4	90.0 - 110	122769279
Copper, Total	0.048	0.05	mg/L	96.0	90.0 - 110	122769282
Lead, Total	0.0498	0.05	mg/L	99.6	90.0 - 110	122769114
Lead, Total	0.050	0.05	mg/L	100	90.0 - 110	122769119
Lead, Total	0.0495	0.05	mg/L	99.0	90.0 - 110	122769120
Lead, Total	0.0494	0.05	mg/L	98.8	90.0 - 110	122769121
Lead, Total	0.0496	0.05	mg/L	99.2	90.0 - 110	122769128
Lead, Total	0.0492	0.05	mg/L	98.4	90.0 - 110	122769138
Lead, Total	0.0489	0.05	mg/L	97.8	90.0 - 110	122769147
Lead, Total	0.0483	0.05	mg/L	96.6	90.0 - 110	122769151
Lead, Total	0.0481	0.05	mg/L	96.2	90.0 - 110	122769155
Lead, Total	0.0495	0.05	mg/L	99.0	90.0 - 110	122769165
Lead, Total	0.0489	0.05	mg/L	97.8	90.0 - 110	122769176
Lead, Total	0.0486	0.05	mg/L	97.2	90.0 - 110	122769186
Lead, Total	0.0487	0.05	mg/L	97.4	90.0 - 110	122769193
Lead, Total	0.0487	0.05	mg/L	97.4	90.0 - 110	122769204
Lead, Total	0.0481	0.05	mg/L	96.2	90.0 - 110	122769215
Lead, Total	0.0489	0.05	mg/L	97.8	90.0 - 110	122769225
Lead, Total	0.0484	0.05	mg/L	96.8	90.0 - 110	122769236
Lead, Total	0.0487	0.05	mg/L	97.4	90.0 - 110	122769247
Lead, Total	0.0484	0.05	mg/L	96.8	90.0 - 110	122769257



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QUALITY CONTROL

HWW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Lead, Total	0.0482	0.05	mg/L	96.4	90.0 - 110	122769268
Lead, Total	0.0487	0.05	mg/L	97.4	90.0 - 110	122769279
Lead, Total	0.049	0.05	mg/L	98.0	90.0 - 110	122769282
Manganese, Total	0.0523	0.05	mg/L	105	90.0 - 110	122769114
Manganese, Total	0.052	0.05	mg/L	104	90.0 - 110	122769119
Manganese, Total	0.0523	0.05	mg/L	105	90.0 - 110	122769120
Manganese, Total	0.0522	0.05	mg/L	104	90.0 - 110	122769121
Manganese, Total	0.0526	0.05	mg/L	105	90.0 - 110	122769128
Manganese, Total	0.0522	0.05	mg/L	104	90.0 - 110	122769138
Manganese, Total	0.0522	0.05	mg/L	104	90.0 - 110	122769147
Manganese, Total	0.0523	0.05	mg/L	105	90.0 - 110	122769151
Manganese, Total	0.0513	0.05	mg/L	103	90.0 - 110	122769155
Manganese, Total	0.0536	0.05	mg/L	107	90.0 - 110	122769165
Manganese, Total	0.0518	0.05	mg/L	104	90.0 - 110	122769176
Manganese, Total	0.0527	0.05	mg/L	105	90.0 - 110	122769186
Zinc, Total	0.0501	0.05	mg/L	100	90.0 - 110	122769114
Zinc, Total	0.0507	0.05	mg/L	101	90.0 - 110	122769120
Zinc, Total	0.0509	0.05	mg/L	102	90.0 - 110	122769121
Zinc, Total	0.0507	0.05	mg/L	101	90.0 - 110	122769128
Zinc, Total	0.0495	0.05	mg/L	99.0	90.0 - 110	122769138
Zinc, Total	0.0499	0.05	mg/L	99.8	90.0 - 110	122769147
Zinc, Total	0.050	0.05	mg/L	100	90.0 - 110	122769151
Zinc, Total	0.0471	0.05	mg/L	94.2	90.0 - 110	122769155
Zinc, Total	0.0509	0.05	mg/L	102	90.0 - 110	122769165
Zinc, Total	0.0479	0.05	mg/L	95.8	90.0 - 110	122769176
Zinc, Total	0.0487	0.05	mg/L	97.4	90.0 - 110	122769186
Zinc, Total	0.0483	0.05	mg/L	96.6	90.0 - 110	122769193

ICV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Arsenic, Total	0.048	0.05	mg/L	96.0	90.0 - 110	122769108
Copper, Total	0.050	0.05	mg/L	100	90.0 - 110	122769108
Lead, Total	0.0485	0.05	mg/L	97.0	90.0 - 110	122769108
Manganese, Total	0.0495	0.05	mg/L	99.0	90.0 - 110	122769108
Zinc, Total	0.0485	0.05	mg/L	97.0	90.0 - 110	122769108

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
Aluminum, Total	973106	0.533	0.536	0.500	85.0 - 115	107	107	mg/L	0.561	20.0
Arsenic, Total	973106	0.489	0.489	0.500	85.0 - 115	97.8	97.8	mg/L	0	20.0
Copper, Total	973106	0.494	0.490	0.500	85.0 - 115	98.8	98.0	mg/L	0.813	20.0
Lead, Total	973106	0.517	0.527	0.500	85.0 - 115	103	105	mg/L	1.92	20.0
Manganese, Total	973106	0.539	0.547	0.500	85.0 - 115	108	109	mg/L	1.47	20.0
Zinc, Total	973106	0.509	0.506	0.500	85.0 - 115	102	101	mg/L	0.591	20.0



QUALITY CONTROL

HW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021

LDR

Parameter	Reading	Known	Units	Recover%	Limits%	File
Aluminum, Total	10.4	10	mg/L	104	90.0 - 110	122769112
Arsenic, Total	10.7	10	mg/L	107	90.0 - 110	122769112
Copper, Total	10.4	10	mg/L	104	90.0 - 110	122769112
Lead, Total	10.5	10	mg/L	105	90.0 - 110	122769112
Manganese, Total	10.7	10	mg/L	107	90.0 - 110	122769112
Zinc, Total	10.8	10	mg/L	108	90.0 - 110	122769112

MRL Check

Parameter	Reading	Known	Units	Recover%	Limits%	File
Copper, Total	0.000647	0.001	mg/L	64.7	25.0 - 175	122769109
Lead, Total	0.000979	0.001	mg/L	97.9	25.0 - 175	122769109
Manganese, Total	0.00106	0.001	mg/L	106	25.0 - 175	122769109

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
Aluminum, Total	2024049	0.547	0.549	0.0179	0.500	70.0 - 130	106	106	mg/L	0.377	20.0
Arsenic, Total	2024049	0.499	0.499	0.0027	0.500	70.0 - 130	99.3	99.3	mg/L	0	20.0
Copper, Total	2024049	0.484	0.497	ND	0.500	70.0 - 130	96.8	99.4	mg/L	2.65	20.0
Lead, Total	2024049	0.516	0.511	ND	0.500	70.0 - 130	103	102	mg/L	0.974	20.0
Manganese, Total	2024049	0.574	0.579	0.0396	0.500	70.0 - 130	107	108	mg/L	0.931	20.0
Zinc, Total	2024049	0.553	0.563	0.050	0.500	70.0 - 130	101	103	mg/L	1.97	20.0
Aluminum, Total	2024701	0.541	0.542	0.00863	0.500	70.0 - 130	106	107	mg/L	0.188	20.0
Arsenic, Total	2024701	0.486	0.483	0.00137	0.500	70.0 - 130	96.9	96.3	mg/L	0.621	20.0
Copper, Total	2024701	0.463	0.466	0.000595	0.500	70.0 - 130	92.5	93.1	mg/L	0.647	20.0
Lead, Total	2024701	0.477	0.481	ND	0.500	70.0 - 130	95.4	96.2	mg/L	0.835	20.0
Manganese, Total	2024701	0.518	0.528	0.00241	0.500	70.0 - 130	103	105	mg/L	1.92	20.0
Zinc, Total	2024701	0.480	0.481	0.00565	0.500	70.0 - 130	94.9	95.1	mg/L	0.211	20.0

Analytical Set 973863

EPA 200.7 4.4

Blank

Parameter	PrepSet	Reading	MDL	MQL	Units	File
Iron, Total	973106	ND	0.00379	0.025	mg/L	122772469

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Iron, Total	2.60	2.50	mg/L	104	90.0 - 110	122772468
Iron, Total	2.62	2.50	mg/L	105	90.0 - 110	122772477

ICL

Parameter	Reading	Known	Units	Recover%	Limits%	File
Iron, Total	4.76	5.00	mg/L	95.2	95.0 - 105	122772461

ICV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Iron, Total	2.55	2.50	mg/L	102	90.0 - 110	122772465



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QUALITY CONTROL

HW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
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Printed 09/30/2021

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
Iron, Total	973106	0.541	0.563	0.500	85.0 - 115	108	113	mg/L	3.99	25.0

LDR

Parameter	Reading	Known	Units	Recover%	Limits%	File
Iron, Total	9.37	10.0	mg/L	93.7	90.0 - 110	122772462

MRL Check

Parameter	Reading	Known	Units	Recover%	Limits%	File
Iron, Total	0.0523	0.050	mg/L	105	25.0 - 175	122772467

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
Iron, Total	2024049	0.673	0.678	0.134	0.500	75.0 - 125	108	109	mg/L	0.923	25.0

Analytical Set 973913

EPA 200.8 5.4

Blank

Parameter	PrepSet	Reading	MDL	MDL	Units	File
Aluminum, Total	973106	0.00208	0.00204	0.005	mg/L	122774235
Manganese, Total	973106	ND	0.000105	0.001	mg/L	122774235

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Aluminum, Total	0.0479	0.05	mg/L	95.8	90.0 - 110	122774185
Aluminum, Total	0.0479	0.05	mg/L	95.8	90.0 - 110	122774194
Aluminum, Total	0.049	0.05	mg/L	98.0	90.0 - 110	122774202
Aluminum, Total	0.0484	0.05	mg/L	96.8	90.0 - 110	122774212
Aluminum, Total	0.0503	0.05	mg/L	101	90.0 - 110	122774229
Aluminum, Total	0.0483	0.05	mg/L	96.6	90.0 - 110	122774238
Aluminum, Total	0.0502	0.05	mg/L	100	90.0 - 110	122774245

ICV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Aluminum, Total	0.0505	0.05	mg/L	101	90.0 - 110	122774177

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
Aluminum, Total	973106	0.509	0.513	0.500	85.0 - 115	102	103	mg/L	0.783	20.0
Manganese, Total	973106	0.522	0.531	0.500	85.0 - 115	104	106	mg/L	1.71	20.0

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
Aluminum, Total	2024049	0.494	0.509	0.0195	0.500	70.0 - 130	94.9	97.9	mg/L	3.11	20.0
Manganese, Total	2024049	0.550	0.563	0.0385	0.500	70.0 - 130	102	105	mg/L	2.51	20.0

Analytical Set 973984

EPA 200.7 4.4



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QUALITY CONTROL

HW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed 09/30/2021

Blank

Parameter	PrepSet	Reading	MDL	MDL	Units	File
Calcium	973106	ND	0.0132	0.100	mg/L	122775485
Iron, Total	973106	ND	0.00524	0.025	mg/L	122775485
Magnesium, Total	973106	ND	0.00267	0.025	mg/L	122775485
Sodium	973106	ND	0.0973	0.500	mg/L	122775485

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Calcium	26.6	25.0	mg/L	106	90.0 - 110	122775484
Calcium	26.4	25.0	mg/L	106	90.0 - 110	122775493
Calcium	26.4	25.0	mg/L	106	90.0 - 110	122775501
Calcium	26.3	25.0	mg/L	105	90.0 - 110	122775503
Magnesium, Total	26.3	25.0	mg/L	105	90.0 - 110	122775484
Magnesium, Total	26.1	25.0	mg/L	104	90.0 - 110	122775493
Magnesium, Total	26.1	25.0	mg/L	104	90.0 - 110	122775501
Sodium	25.3	25.0	mg/L	101	90.0 - 110	122775484
Sodium	25.7	25.0	mg/L	103	90.0 - 110	122775493
Sodium	25.4	25.0	mg/L	102	90.0 - 110	122775501
Sodium	25.3	25.0	mg/L	101	90.0 - 110	122775503
Sodium	25.3	25.0	mg/L	101	90.0 - 110	122775511

ICL

Parameter	Reading	Known	Units	Recover%	Limits%	File
Calcium	49.5	50.0	mg/L	99.0	95.0 - 105	122775480
Magnesium, Total	49.1	50.0	mg/L	98.2	95.0 - 105	122775480
Sodium	50.2	50.0	mg/L	100	95.0 - 105	122775480

ICV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Calcium	25.8	25.0	mg/L	103	90.0 - 110	122775482
Magnesium, Total	25.4	25.0	mg/L	102	90.0 - 110	122775482
Sodium	25.0	25.0	mg/L	100	90.0 - 110	122775482

LCS Dup

Parameter	PrepSet	LCS	LCSD	Known	Limits%	LCS%	LCSD%	Units	RPD	Limit%
Calcium	973106	5.08	5.12	5.00	85.0 - 115	102	102	mg/L	0.784	25.0
Iron, Total	973106	0.517	0.545	0.500	85.0 - 115	103	109	mg/L	5.27	25.0
Magnesium, Total	973106	5.15	5.27	5.00	85.0 - 115	103	105	mg/L	2.30	25.0
Sodium	973106	5.10	5.15	5.00	85.0 - 115	102	103	mg/L	0.976	25.0

LDR

Parameter	Reading	Known	Units	Recover%	Limits%	File
Calcium	96.2	100	mg/L	96.2	90.0 - 110	122775481
Iron, Total	9.64	10.0	mg/L	96.4	90.0 - 110	122775481
Magnesium, Total	97.5	100	mg/L	97.5	90.0 - 110	122775481
Sodium	108	100	mg/L	108	90.0 - 110	122775481



QUALITY CONTROL

HW1-G

Holly Water Wells
Linda Woods
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Huntsville, TX 77320

Project
981476

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MRL Check

Parameter	Reading	Known	Units	Recover%	Limits%	File
Calcium	0.550	0.500	mg/L	110	25.0 - 175	122775483
Sodium	0.472	0.500	mg/L	94.4	25.0 - 175	122775483

MSD

Parameter	Sample	MS	MSD	UNK	Known	Limits	MS%	MSD%	Units	RPD	Limit%
Calcium	2024049	75.2	75.3	69.9	5.00	75.0 - 125	106	108	mg/L	1.87	25.0
Iron, Total	2024049	0.653	0.658	0.128	0.500	75.0 - 125	105	106	mg/L	0.948	25.0
Magnesium, Total	2024049	11.4	11.4	6.58	5.00	75.0 - 125	96.4	96.4	mg/L	0	25.0
Sodium	2024049	44.8	44.8	39.6	5.00	75.0 - 125	104	104	mg/L	0	25.0
Calcium	2024701	18.5	18.1	13.8	5.00	75.0 - 125	94.0	86.0	mg/L	8.89	25.0
Iron, Total	2024701	0.528	0.535	0.586	0.500	75.0 - 125	-11.6 *	-10.2 *	mg/L	1.32	25.0
Magnesium, Total	2024701	7.90	7.81	2.63	5.00	75.0 - 125	105	104	mg/L	1.72	25.0
Sodium	2024701	341	320	326	5.00	75.0 - 125	300 *	-120 *	mg/L	467 *	25.0

Analytical Set 973574

SM 2320 B-2011

Blank

Parameter	PrepSet	Reading	MDL	MDL	Units	File
Total Alkalinity (as CaCO ₃)	973574	ND	1.00	1.00	mg/L	122764553

CCV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Total Alkalinity (as CaCO ₃)	25.0	25.0	mg/L	100	90.0 - 110	122764552
Total Alkalinity (as CaCO ₃)	25.5	25.0	mg/L	102	90.0 - 110	122764566
Total Alkalinity (as CaCO ₃)	25.0	25.0	mg/L	100	90.0 - 110	122764579

Duplicate

Parameter	Sample	Result	Unknown	Unit	RPD	Limit%
Total Alkalinity (as CaCO ₃)	2023944	37.5	35.0	mg/L	6.90	20.0
Total Alkalinity (as CaCO ₃)	2024701	403	401	mg/L	0.498	20.0

ICV

Parameter	Reading	Known	Units	Recover%	Limits%	File
Total Alkalinity (as CaCO ₃)	25.0	25.0	mg/L	100	90.0 - 110	122764551

Mat. Spike

Parameter	Sample	Spike	Unknown	Known	Units	Recovery %	Limits %	File
Total Alkalinity (as CaCO ₃)	2023944	61.1	35.0	25.0	mg/L	104	70.0 - 130	122764556
Total Alkalinity (as CaCO ₃)	2024701	422	401	25.0	mg/L	84.0	70.0 - 130	122764569

* Out RPD is Relative Percent Difference: $\text{abs}(r1-r2) / \text{mean}(r1,r2) * 100\%$

Recover% is Recovery Percent: $\text{result} / \text{known} * 100\%$

CCV - Continuing Calibration Verification; Blank - Method Blank; AWRL/MRL C - Ambient Water Reporting Limit/Minimum Reporting Limit Check Std; LCS - Laboratory Control Sample; ICV - Initial Calibration Verification; LDR - Linear Dynamic Range Standard; MRL Check - Minimum Reporting Limit Check Std



Report Page 15 of 19

981476 CoC Print Group 001 of 001

2600 Dudley Rd. Kilgore, Texas 75662
R: 3306 State Highway 135 N, Kilgore, TX 75662
Office: 903-984-0551 * Fax: 903-984-5914



CHAIN OF CUSTODY

Printed 09/15/2021 Page 1 of 2

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

HWW1-G-4
180

Lab Number 2024049
PO Number _____
Phone 936-295-6098

DOS Aguas **Well Short List**

Matrix: Drinking Water

Sample Collection Start

Date: 9/16/21 Time: 1150

Sampler Printed Name: Matt Brockelman Ana-Lab Corp

Sampler Affiliation:

Sampler Signature: [Signature]

Samples Radioactive? ☐

Samples Contains Dioxin? ☐

Samples Biological Hazard? ☐

☒ **On Site Testing**

z Short Hold pH pH (Onsite) SM 4500-H+ B-2011 (0.0104 days)

pH (Onsite) Quality Control

Collected By MRB Date 9/16 Time 1150 Analyzed By MRB Date 9/16 Time 1150
Results 7.29 Units SC Temp. 16 C Duplicate 7.29 Units SC Temp. 16 C

☒ **HNO3 to pH <2 Polyethylene 500 mL for Metals**

NELAC	•AlM	Aluminum, Total	EPA 200.8 5.4 CAS:7429-90-5 (180 days)
NELAC	•AsM	Arsenic, Total	EPA 200.8 5.4 CAS:7440-38-2 (180 days)
z	•CaI	Calcium	EPA 200.7 4.4 CAS:7440-70-2 (180 days)
NELAC	•CuM	Copper, Total	EPA 200.8 5.4 CAS:7440-50-8 (180 days)
NELAC	•FeI	Iron, Total	EPA 200.7 4.4 CAS:7439-89-6 (180 days)
NELAC	•MgI	Magnesium, Total	EPA 200.7 4.4 CAS:7439-95-4 (180 days)
NELAC	•MnM	Manganese, Total	EPA 200.8 5.4 CAS:7439-96-5 (180 days)
NELAC	•NaI	Sodium	EPA 200.7 4.4 CAS:7440-23-5 (180 days)
NELAC	•PbM	Lead, Total	EPA 200.8 5.4 CAS:7439-92-1 (180 days)
NELAC	•ZnM	Zinc, Total	EPA 200.8 5.4 CAS:7440-66-6 (180 days)
	301L	Liquid Metals Digestion	EPA 200.2 2.8 (180 days)



981476 CoC Print Group 001 of 001

2600 Dudley Rd. Kilgore, Texas 75662
 R: 3306 State Highway 135 N. Kilgore, TX 75662
 Office: 903-984-0551 * Fax: 903-984-5914



Printed 09/15/2021

Page 2 of 2

CHAIN OF CUSTODY

Holly Water Wells
 Linda Woods
 2928 SH 19
 Huntsville, TX 77320

HWW1-G-4
180

1 Polyethylene 1/2 gal (White)

NELAC	ICIL	Chloride	EPA 300.0 2.1 (28.0 days)
NELAC	IFIL	Fluoride	EPA 300.0 2.1 (28.0 days)
NELAC Short Hold	IN2W	DW Nitrite-Nitrogen, Total	EPA 300.0 2.1 (2.00 days)
NELAC Short Hold	IN3W	DW Nitrate-Nitrogen Total	EPA 300.0 2.1 CAS:14797-55-8 (2.00 days)
NELAC	IS4L	Sulfate	EPA 300.0 2.1 (28.0 days)
z	AlkT	Total Alkalinity (as CaCO3)	SM 2320 B-2011 (14.0 days)
	CaC3	Calcium as CaCO3	
NELAC	TDS	Total Dissolved Solids	SM 2540 C-2011 (7.00 days)

Ambient Conditions/Comments

Date	Time	Relinquished	Received
9/16/21	1700	Printed Name: Matt Brockelman Ana-Lab Corp. Signature: [Signature]	Printed Name: LSO Signature: [Signature]
9/17/21	0900	Printed Name: LSO Signature: [Signature]	Printed Name: Rayshawn Thompson Ana-Lab Signature: [Signature]
		Printed Name: [Blank] Signature: [Blank]	Printed Name: [Blank] Signature: [Blank]
		Printed Name: [Blank] Signature: [Blank]	Printed Name: [Blank] Signature: [Blank]

Sample Received on Ice? ☒ Yes ☐ No Method of Shipment: ☐ UPS ☐ Bus ☐ FedEx ☒ Lone Star ☐ Hand Delivered ☐ Other
 Cooler/Sample Secure? ☒ Yes ☐ No If Shipped: Tracking Number & Temp - See Attached **Hand Delivered to Region []**

The accredited column designates accreditation by A - A2LA, N - NELAC, or z - not listed under scope of accreditation. Unless otherwise specified, ANA-LAB shall provide these ordered services pursuant to our Standard Terms & Conditions Agreement (available for download from the welcome page at <http://www.ana-lab.com>). Ana-Lab personnel collect samples as specified by Ana-Lab SOP # 000323.

Comments



Gulf Coast Region: 4141 Directors Row Ste C Houston TX 77092

Report Page 17 of 19

1
2
3
4

3 of 4

981476 CoC Print Group 001 of 001



TRIP TICKET

2024051

DATE: 9/16/21

CLIENT CODE: HWW1

PROJECT NUMBER: _____



Sampling



Pickup Only

TIME:

Beginning: _____

Ending: _____

TOTAL: 2.5 Hrs X Rate (80/Mile) = \$ 200
Hour

MILEAGE:

Beginning: _____

Ending: _____

TOTAL: _____ X Rate (____/Mile) = _____

TOTAL TO BILL:

\$ \$200

NOTES / OTHER:

DOS Aguas

SAMPLERS NAME: MRB

Login Use Only: Logged: _____

Scanned: _____

PO BOX 9000 – Kilgore, TX 75663-9000 / 903-984-0551 / FAX: 903-984-5914

Analytical Chemistry - Utility Operations

Revised By: TAC

Authorized By: _____

TWV

Date: 1/8/2021

C:\Users\lchitwood\Documents\Trip Ticket.docx

Controlled Document Page 1 of 1



Airbill No. Z1005H8X

LSO
1-800-800-8984
www.iso.com

*70
592*

SHIP TO:
LOGIN
ANA-LAB CORPORATION
2600 DUDLEY RD
KILGORE, TX 75662
9039840551

From:
MATT BROCKELMAN
ANA-LAB CORPORATION
4141 DIRECTORS ROW
SUITE C
HOUSTON, TX 77092
7138824654

B GGG

LSO PRIORITY NEXT DAY
10:30 IN MOST CITIES
LATER IN REMOTE CITIES

PRINT DATE: 9/13/2021
QUICKCODE: CORP
REF 1: 1D00V.0000 REF 2:

9/17 0920
Date Time Tech
Temp: *1.6 11.6* C

Therm#: 6093 Corr Fact: 0.0 C

Fold on above line and place shipping label in pouch on package. Please be sure the barcodes and addresses can be read and scanned.
Shipping Instructions

1. Fold this page along the horizontal line above.
2. Place this Airbill in the shipping label pouch on the package you are shipping. Please be sure the barcodes and addresses can be read and scanned.
3. To locate a drop box near you, click on **Find A Drop Box** from the home page main menu.
4. To schedule a pickup, click on **Request Pickup**.

WARNING: Use only the printed original label for shipping. Using a photocopy of this label for shipping purposes is fraudulent and could result in additional billing charges, along with the cancellation of your Lone Star Overnight account number.
This label is valid for use for 3 months from the date printed. Use of expired labels may result in delayed billing and / or additional research charges. LIMIT OF LIABILITY: We are not responsible for claims in excess of \$100 for any reason unless you: 1) declare a greater value (not to exceed \$25,000); 2) pay an additional fee; 3) and document your actual loss in a timely manner. We will not pay any claim in excess of the actual loss. We are not liable for any special or consequential damages. Additional limitations of liability are contained in our current Service Guide. If you ask us to deliver a package without obtaining a delivery signature, you release us of all liability for claims resulting from such service. NO DELIVERY SIGNATURE WILL BE OBTAINED FOR 8:30 AM DELIVERIES OR RESIDENTIAL DELIVERIES

STATE OF TEXAS WELL REPORT for Tracking #585438

Owner:	Dos Aguas, LLC	Owner Well #:	No Data
Address:	455 FM 2296 Huntsville, TX 77340	Grid #:	60-37-3
Well Location:	10705 Ruger Rd Willis, TX 77378	Latitude:	30° 28' 43.06" N
Well County:	Montgomery	Longitude:	095° 23' 24.43" W
		Elevation:	No Data
Type of Work:	New Well	Proposed Use:	Public Supply

Drilling Start Date: 6/28/2021

Drilling End Date: 9/30/2021

Plans Approved by TCEQ - YES

	Diameter (in.)	Top Depth (ft.)	Bottom Depth (ft.)
Borehole:	16.75	0	700
	16	700	870

Drilling Method: Mud (Hydraulic) Rotary

Borehole Completion: Filter Packed; two piece; Under-reamed

	Top Depth (ft.)	Bottom Depth (ft.)	Filter Material	Size
Filter Pack Intervals:	640	870	Gravel	12/20

	Top Depth (ft.)	Bottom Depth (ft.)	Description (number of sacks & material)
Annular Seal Data:	0	700	Cement 291 Bags/Sacks

Seal Method: Pressure

Distance to Property Line (ft.): No Data

Sealed By: Advanced Cementing
Services, Inc.

Distance to Septic Field or other
concentrated contamination (ft.): No Data

Distance to Septic Tank (ft.): No Data

Method of Verification: No Data

Surface Completion: Surface Slab Installed

Surface Completion by Driller

Water Level: 342 ft. below land surface on No Data

Packers: No Data

Type of Pump: Submersible

Pump Depth (ft.): 593

Well Tests: Pump

Yield: 200 GPM with 71 ft. drawdown after 36 hours

	<i>Strata Depth (ft.)</i>	<i>Water Type</i>
Water Quality:	700 - 780	No Data
	840 - 860	No Data
		Chemical Analysis Made: Yes
Did the driller knowingly penetrate any strata which contained injurious constituents?:		No

Certification Data: The driller certified that the driller drilled this well (or the well was drilled under the driller's direct supervision) and that each and all of the statements herein are true and correct. The driller understood that failure to complete the required items will result in the report(s) being returned for completion and resubmittal.

Company Information: **Holly Water Wells**
2928 State Hwy 19
Huntsville, TX

Driller Name: **Matt Davis** License Number: **60340**

Comments: **No Data**

Lithology:			Casing:					
DESCRIPTION & COLOR OF FORMATION MATERIAL			BLANK PIPE & WELL SCREEN DATA					
<i>Top (ft.)</i>	<i>Bottom (ft.)</i>	<i>Description</i>	<i>Dia (in.)</i>	<i>Type</i>	<i>Material</i>	<i>Sch./Gage</i>	<i>Top (ft.)</i>	<i>Bottom (ft.)</i>
0	220	tan & white clay	12	Blank	New Steel		-2	700
220	230	sand	8	Blank	New Steel		640	700
230	280	tan clay			New Pipe			
280	300	sand	8	Screen	Base	20	700	780
300	400	tan & gray clay			Stainless			
400	460	sand	8	Blank	New Steel		780	840
460	500	sand clay streaks			New Pipe			
500	700	tan & gray clay	8	Screen	Base	20	840	860
700	780	sand			Stainless			
780	840	gray clay	8	Blank	New Steel		860	870
840	860	sand						
860	900	gray clay						

IMPORTANT NOTICE FOR PERSONS HAVING WELLS DRILLED CONCERNING CONFIDENTIALITY

TEX. OCC. CODE Title 12, Chapter 1901.251, authorizes the owner (owner or the person for whom the well was drilled) to keep information in Well Reports confidential. The Department shall hold the contents of the well log confidential and not a matter of public record if it receives, by certified mail, a written request to do so from the owner.

Please include the report's Tracking Number on your written request.

**Texas Department of Licensing and Regulation
P.O. Box 12157
Austin, TX 78711
(512) 334-5540**

WARRANTY DEED

NOTICE OF CONFIDENTIALITY RIGHTS: IF YOU ARE A NATURAL PERSON, YOU MAY REMOVE OR STRIKE ANY OF THE FOLLOWING INFORMATION FROM THIS INSTRUMENT BEFORE IT IS FILED FOR RECORD IN THE PUBLIC RECORDS: YOUR SOCIAL SECURITY NUMBER OR YOUR DRIVER'S LICENSE NUMBER.

Date: March 8th 2021

Grantor: REPUBLIC GRAND RANCH, LLC

Grantor's Mailing Address: 1015A West SH 150
New Waverly, TX 77358

Grantee: DOS AGUAS, LLC

Grantee's Mailing Address: 455 FM 2296
Huntsville, TX 77340

Consideration:

TEN AND NO/100 DOLLARDS (\$10.00) and other valuable considerations.

Property (including any improvements):

Being 4.00 acres of land, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 15, Montgomery County, Texas and being out of a called 4,818.84 acre tract of land described in a Special Warranty Deed with Vendor's Lien dated December 06, 2019 from Atakapa, LLC to Republic Grand Ranch, LLC recorded under Clerk's File No. 2019113827, Official Public Records, Montgomery County, Texas (MCOPR), said 4.00 acres being more definitely described by metes and bounds in Exhibit A and shown on the Plat in Exhibit B attached hereto;

TOGETHER with a twenty (20) foot wide access easement for ingress and egress to and from the property, as described in Exhibit C attached hereto and made a part hereof for all purposes, UNTIL public roadways have been built and dedicated to the public per future subdivision plat, at which time this easement will be null and void as the 4.00 acres described herein will have proper public road frontage;

TOGETHER with Texas Commission on Environmental Quality, Sanitary Control Easements, South Well 1A and 1B, recorded respectively under Clerk's File No. 2020095332 and Clerk's File No. 2020095333, MCOPR.

Reservations from and Exceptions to Conveyance and Warranty:

1. all reservations, covenants, conditions, restrictions, building set-backs lines, easements and rights-of-way, if any, of record in the office of the County Clerk of Montgomery County, Texas, that affect the Property;
2. all mineral severances, mineral reservations, royalty reservations and mineral leases, if any, of record in the office of the County Clerk of Montgomery County, Texas, that affect the Property;
3. all laws, ordinances and regulations of the United States of America and of the State of Texas, or any political subdivision thereof, including, but not limited to, those of any county, city, village and or governmental district that affect the Property;

Grantor, for the Consideration and subject to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty, grants, sells, and conveys to Grantee the Property, together with all and singular the rights and appurtenances thereto in any way belonging, to have and to hold it to Grantee and Grantee's heirs, successors, and assigns forever. Grantor binds Grantor and Grantor's heirs and successors to warrant and forever defend all and singular the Property to Grantee and Grantee's heirs, successors and assigns against every person whomsoever lawfully claiming or to claim the same or any part

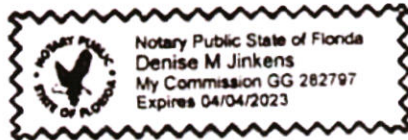
thereof, except as to the Reservations from Conveyance and the Exceptions to Conveyance and Warranty.

EXECUTED this 8th day of March 2021.

Thomas Gajda
Thomas Gajda, Authorized Agent

THE STATE OF ~~TEXAS~~ Florida §
COUNTY OF ~~MONTGOMERY~~ Collier §

March This instrument was acknowledged before me on the 8th day of March, 2021, by Thomas Gajda.



Denise M. Jinkens
NOTARY PUBLIC in and for
The State of ~~Texas~~ Florida

Namken, Inc.
P O BOX 1158, New Waverly, TX 77358
TBEPLS No 10194090
936-661-3325

METES AND BOUNDS DESCRIPTION
4.00 ACRES IN THE JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TX

I, the undersigned Michael A. Namken, Registered Professional Land Surveyor No. 6533, do hereby certify that the following field notes represent a survey made on the ground of the following described tract or parcel of land located in Montgomery County, Texas. All Bearings, Distances and Acreages herein are Grid and referenced to the Texas State Plane Coordinate System, Central Zone (4203), NAD 83. Distances can be converted to geodetic horizontal (surface) by dividing by a Combined scale factor of 0.9999076.

Being 4.00 acres of land, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 15, Montgomery County, Texas and being out of a called 4,818.84 acre tract of land described in a Special Warranty Deed with Vendor's Lien dated December 06, 2019 from Atakapa, LLC to Republic Grand Ranch, LLC recorded under Clerk's File No. 2019113827, Official Public Records, Montgomery County, Texas (MCOPR), said 4.00 acres (this tract) being more definitely described by metes and bounds as follows:

COMMENCING at a 1/2 inch iron rod with cap (MADDUX, 4513) at the most westerly northwest corner of the said 4,818.84 acre Republic Grand Ranch, LLC Tract, the southwest corner of a called 2.556 acre tract described in a Deed to Douglas Carr and Pamela Carr recorded under Clerk's File Number 2003019872, MCOPR and in the east line of Farm to Market Road No. 1097 (FM 1097) as described in a Deed to the State Highway Commission recorded in Vol. 295, pg. 450, MCOPR;

THENCE N 87°15'01" W, a distance of **4680.31 feet**, set a 5/8 inch iron rod with cap (NAMKEN RPLS 6533) at the northwest corner and the **POINT OF BEGINNING** of this tract, in the north line of the said 4,818.84 acre Republic Grand Ranch, LLC Tract;

THENCE N 87°20'44" E, a distance of **56.25 feet** with the following boundary lines:

- the north line of this tract,
- a southerly north line of the said 4,818.84 acre Republic Grand Ranch, LLC Tract,
- in the south line of a called 111.52 acre tract described in a Deed to Michael Bradley Smith, recorded under Clerk's File Number 2008003895, MCOPR,

to a 5/8 inch iron rod with cap (NAMKEN, RPLS 6533) set for corner of the following tracts:

- the northeast corner of this tract,
- from which a 1 inch iron pipe (bent) found for the northwest corner of a called 33.517 acre tract of land described in a Deed to Earl Everett Massey, recorded under Clerk's File Number 2013022286, MCOPR and in the south line of the said 111.52 acre Smith Tract, bears N87°20'44"E-932.33 feet;

THENCE S 43°00'31" E, within the said 4,818.84 acre Republic Grand Ranch, LLC Tract, a distance of **574.06 feet**, to a 5/8 inch iron rod with cap (NAMKEN RPLS 6533) set for corner;

THENCE S 42°58'15" W, continuing within the said 4,818.84 acre Republic Grand Ranch, LLC Tract, a distance of **273.34 feet**, to a 5/8 inch iron rod with cap (NAMKEN RPLS 6533) set for corner;

THENCE continuing within the said 4,818.84 acre Republic Grand Ranch, LLC Tract, with a curve to the right having an **arc length of 32.26 feet**, a **radius of 25.00 feet**, a **chord bearing of S 79°56'18" W** and a **chord length of 30.07 feet**, to a 5/8 inch iron rod with cap (NAMKEN RPLS 6533) set for corner;

EXHIBIT A, pg 1 of 2

4.00 Ac Republic Grand Ranch, LLC 20-026
JOSE MARIA DE LA GARZA GRANT, A-15
Montgomery Co

THENCE continuing within the said 4,818.84 acre Republic Grand Ranch, LLC Tract, with a curve to the left having an **arc length of 270.01 feet, a radius of 830.00 feet, a chord bearing of N 72°24'49" W and a chord length of 268.82 feet**, to a 5/8 inch iron rod with cap (NAMKEN RPLS 6533) set for corner:

THENCE N 02°34'57" E, continuing within the said 4,818.84 acre Republic Grand Ranch, LLC Tract, a distance of **541.76 feet** to the **PLACE OF BEGINNING**.

Containing 4.00 acres of land

Surveyed – APRIL, 2020

Notes:

- (1) All set iron rods are 5/8" capped with a 1-3/4" diameter plastic cap, blue in color, stamped "Michael A. Namken RPLS 6533".
- (2) This metes and bounds description is accompanied by a plat, prepared on even date herewith.

Signed: Mike Namken 4-14-20
Michael A. Namken RPLS # 6533

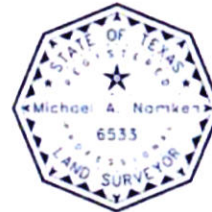
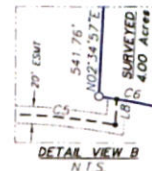
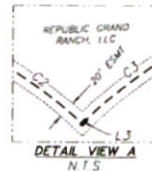


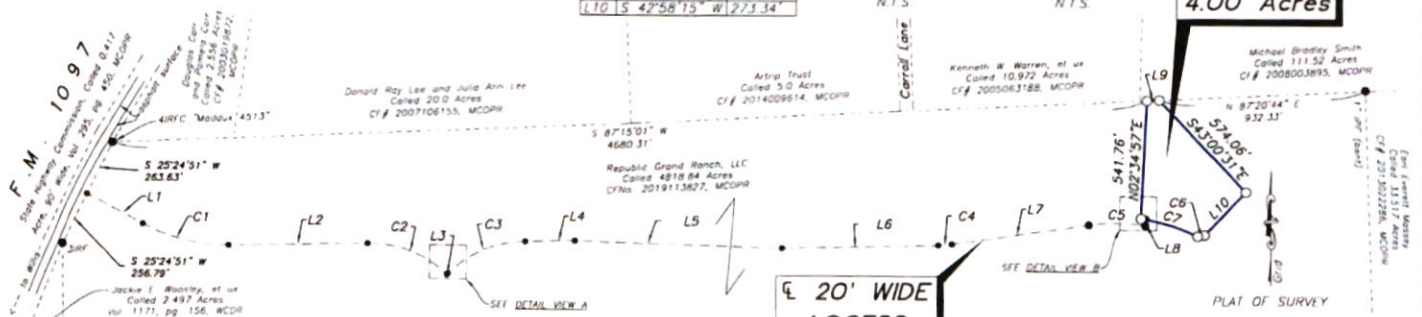
EXHIBIT A, pg 2 of 2

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	409.40	800.00	S 76°39'49" E	404.95	29°19'17"
C2	395.55	500.00	S 68°39'39" E	385.32	45°19'37"
C3	390.51	499.27	N 66°17'46" E	380.65	44°46'09"
C4	61.49	500.00	N 85°09'09" E	61.45	7°02'47"
C5	255.43	800.00	S 89°11'26" E	254.34	18°17'37"
C6	32.26	25.00	S 79°56'18" W	30.07	73°56'07"
C7	270.01	850.00	N 72°24'49" W	268.82	18°58'20"

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 62°00'10" E	287.81
L2	N 88°40'32" E	628.46
L3	N 44°21'30" E	5.07
L4	N 88°40'32" E	224.43
L5	S 88°15'00" E	932.10
L6	N 88°40'32" E	705.49
L7	N 81°37'46" E	624.29
L8	N 02°34'57" E	30.24
L9	N 87°20'44" E	56.25
L10	S 42°58'15" W	273.34



**SURVEYED
4.00 Acres**



LEGEND

- Found Iron Rod or Iron Pipe (IP), size and type as noted
- Point for Corner
- Set 5/8" Iron Rod with 1-3/4" blue plastic cap mkt.
- "MICHAEL A. NAMKEN RPL'S 6533"
- 3IR Found 3/8" Iron Rod
- 4IR Found 1/2" Iron Rod
- MCDR Montgomery County Deed Records
- MCDPR Montgomery County Official Public Records
- MCDPRR Montgomery County Real Property Records

I, Michael A. Namken, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are as shown herein.

Signed *Michael A. Namken* 4-14-20
Michael A. Namken
Reg. Prof. Land Surveyor No. 6533



NOTES

- The purpose of this plat is to show the proposed location of the 4.00 acre tract and a proposed 20 foot access easement within the boundary of the called 4818.84 acre tract of land as described in a deed to Republic Grand Ranch, LLC, CF# 2019115827, MCDPR.
- Bearings, Distances and Acres are given and referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83. Distances may be converted to geodetic horizontal distance by dividing by a Combined Scale factor of 0.99999076.
- Based on FEMA Insurance Maps, revised 18 August 2014, Montgomery County #480483, Map #48359C0250G, Panel 0250G, this Tract is NOT located within Flood Hazard Zone "A".
- Monuments shown herein as found are controlling monuments, unless noted as reference only.
- This plat is accompanied by two meters and bounds descriptions, prepared on even date herewith.
- This survey was completed without an Abstract of Title. There may be additional easements and other matters not shown herein.

**20' WIDE
ACCESS
EASEMENT**

PLAT OF SURVEY
4.00 ACRES AND
20' WIDE ACCESS EASEMENT
out of
REPUBLIC GRAND RANCH
PROPERTY
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

SURVEYED APRIL 2020
0 500 1000
1 INCH = 500 FEET
Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TBP&S Form No. 10/94090
936-661-3325

EXHIBIT B pg 1 of 1

20-026

Namken, Inc.
P O BOX 1158, New Waverly, TX 77358
TBEPLS No. 10194090
936-661-3325

**METES AND BOUNDS DESCRIPTION
20 FOOT WIDE ACCESS EASEMENT
IN THE JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TX**

I, the undersigned Michael A. Namken, Registered Professional Land Surveyor No. 6533, do hereby certify that the following field notes represent a survey made on the ground of the following described tract or parcel of land located in Montgomery County, Texas. All Bearings, Distances and Acreages herein are Grid and referenced to the Texas State Plane Coordinate System, Central Zone (4203), NAD 83. Distances can be converted to geodetic horizontal (surface) by dividing by a Combined scale factor of 0.9999076.

Being a strip of land, twenty (20) feet in width, situated in the JOSE MARIA DE LA GARZA GRANT, Abstract No. 15, Montgomery County, Texas and being out of a called 4,818.84 acre tract of land described in a Special Warranty Deed with Vendor's Lien dated December 06, 2019 from Atakapa, LLC to Republic Grand Ranch, LLC recorded under Clerk's File No. 2019113827, Official Public Records, Montgomery County, Texas (MCOPR), said twenty (20) foot wide strip lying ten (10) foot on both sides, as measured at right angles from the following described centerline, lengthening or shortening sidelines so as to not create overlaps or gaps;

COMMENCING at a 1/2 inch iron rod with cap (MADDUX, 4513) at the most westerly northwest corner of the said 4,818.84 acre Republic Grand Ranch, LLC Tract, the southwest corner of a called 2.556 acre tract described in a Deed to Douglas Carr and Pamela Carr recorded under Clerk's File Number 2003019872, MCOPR and in the east line of Farm to Market Road No. 1097 (FM 1097) as described in a Deed to the State Highway Commission recorded in Vol. 295, pg. 450, MCOPR;

THENCE S 25°24'51" W, a distance of **263.63 feet**, to the **POINT OF BEGINNING** of the 20 foot wide easement centerline described herein, from which a 3/8 inch iron rod found at a southwest corner of the said 4,818.84 acre Republic Grand Ranch, LLC Tract, the north corner of a called 2.497 acre tract of land described in a Deed to Jackie E. Woosley and wife, Verna Woosley and in the east right-of-way line of said FM 1097, bears S25°24'51"W-256.79';

THENCE generally in an easterly direction within the said 4818.84 acre Republic Grand Ranch, LLC Tract the following twelve (12) calls:

1. **S 62°00'10" E**, a distance of **287.81 feet**, to an angle point;
2. With a curve to the left having an **arc length of 409.40 feet**, a **radius of 800.00 feet**, a **chord bearing of S 76°39'49" E** and a **chord length of 404.95 feet**, to an angle point;
3. **N 88°40'32" E**, a distance of **628.46 feet**, to an angle point;
4. With a curve to the right having an **arc length of 395.55 feet**, a **radius of 500.00 feet**, a **chord bearing of S 68°39'39" E** and a **chord length of 385.32 feet**, to an angle point;
5. **N 44°23'30" E**, a distance of **5.07 feet**, to an angle point;
6. With a curve to the right having an **arc length of 390.51 feet**, a **radius of 499.77 feet**, a **chord bearing of N 66°17'46" E** and a **chord length of 380.65 feet**, to an angle point;
7. **N 88°40'32" E**, a distance of **224.43 feet**, to an angle point;
8. **S 88°15'00" E**, a distance of **932.30 feet**, to an angle point;
9. **N 88°40'32" E**, a distance of **705.49 feet**, to an angle point;

10. With a curve to the left having an **arc length of 61.49 feet, a radius of 500.00 feet, a chord bearing of N 85°09'09" E and a chord length of 61.45 feet**, to an angle point;
11. **N 81°37'46" E**, a distance of **624.29 feet**, to an angle point;
12. With a curve to the right having an **arc length of 255.43 feet, a radius of 800.00 feet, a chord bearing of S 89°13'26" E and a chord length of 254.34 feet**, to an angle point;
13. **N 02°34'57" E**, a distance of **30.24 feet**, to the **POINT OF TERMINATION** of this easement in a south line of a 4.00 acre tract of land surveyed this same date, from which a 5/8 inch iron rod with cap (NAMKEN RPLS 6533) set for the southwest corner of the said 4.00 acre tract bears N81°02'18"W-20.12'.

Surveyed – APRIL, 2020

Notes:

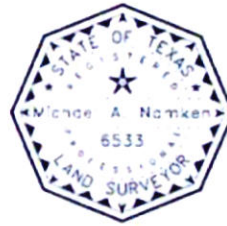
- (1) All set iron rods are 5/8" capped with a 1-3/4" diameter plastic cap, blue in color, stamped "Michael A. Namken RPLS 6533".
- (2) This metes and bounds description is accompanied by a plat, prepared on even date herewith.

Signed:

Mike Namken 4-14-20

Michael A. Namken

RPLS # 6533

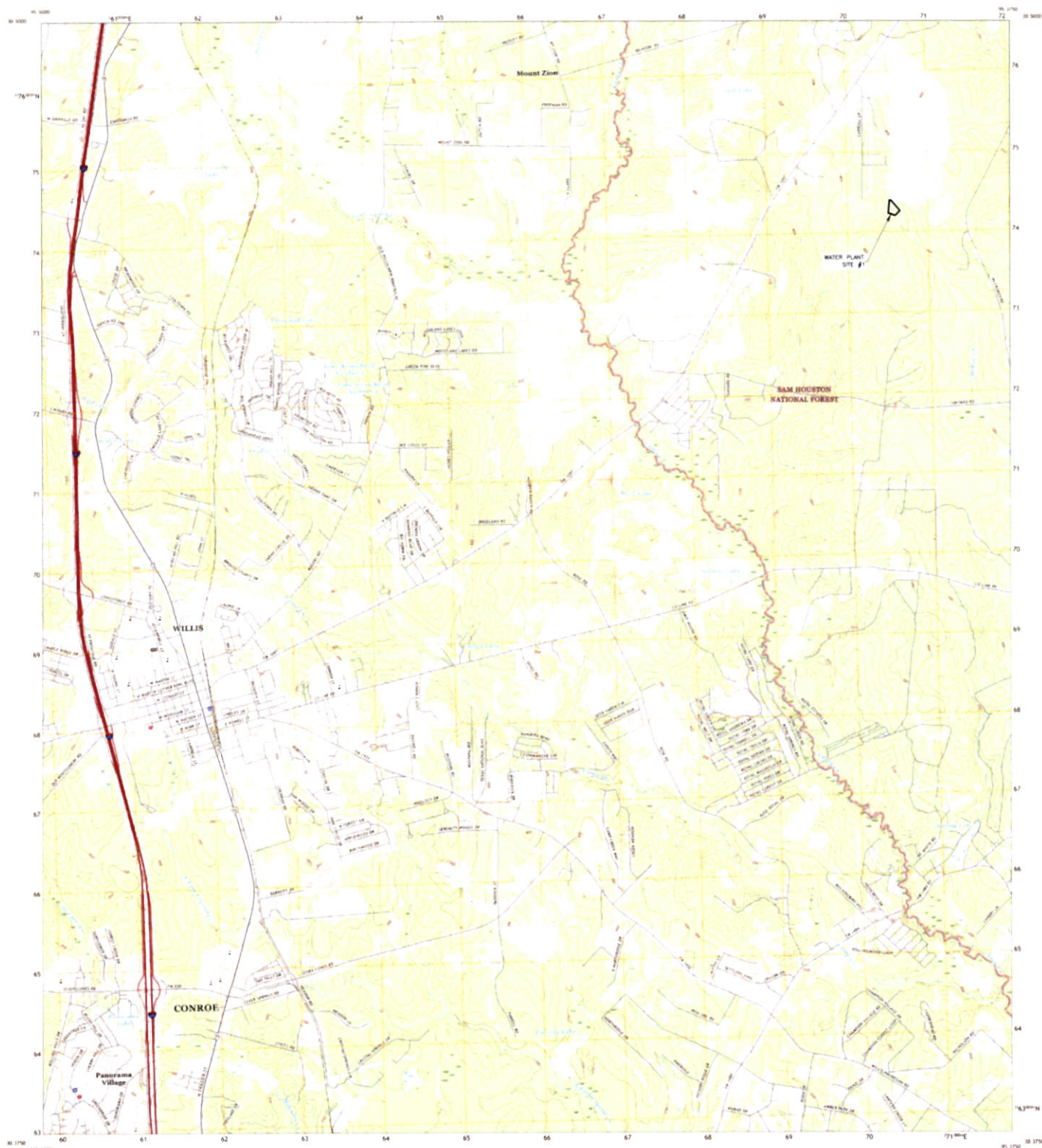




U.S. DEPARTMENT OF THE INTERIOR
U.S. GEOLOGICAL SURVEY



WILLIS QUADRANGLE
TEXAS - MONTGOMERY COUNTY
7.5-MINUTE SERIES



Produced by the United States Geological Survey

North American Datum of 1983 (NAD83)
World Geodetic System of 1984 (WGS84) Projection and
Datum used for this map. Horizontal and vertical
coordinates are in feet. This map is not a legal document. Boundaries may be
generalized for this map. Please check with the appropriate
authorities for the most current information.

Map data: 2019, 2018, 2017, 2016, 2015, 2014, 2013, 2012, 2011, 2010, 2009, 2008, 2007, 2006, 2005, 2004, 2003, 2002, 2001, 2000, 1999, 1998, 1997, 1996, 1995, 1994, 1993, 1992, 1991, 1990, 1989, 1988, 1987, 1986, 1985, 1984, 1983, 1982, 1981, 1980, 1979, 1978, 1977, 1976, 1975, 1974, 1973, 1972, 1971, 1970, 1969, 1968, 1967, 1966, 1965, 1964, 1963, 1962, 1961, 1960, 1959, 1958, 1957, 1956, 1955, 1954, 1953, 1952, 1951, 1950, 1949, 1948, 1947, 1946, 1945, 1944, 1943, 1942, 1941, 1940, 1939, 1938, 1937, 1936, 1935, 1934, 1933, 1932, 1931, 1930, 1929, 1928, 1927, 1926, 1925, 1924, 1923, 1922, 1921, 1920, 1919, 1918, 1917, 1916, 1915, 1914, 1913, 1912, 1911, 1910, 1909, 1908, 1907, 1906, 1905, 1904, 1903, 1902, 1901, 1900, 1899, 1898, 1897, 1896, 1895, 1894, 1893, 1892, 1891, 1890, 1889, 1888, 1887, 1886, 1885, 1884, 1883, 1882, 1881, 1880, 1879, 1878, 1877, 1876, 1875, 1874, 1873, 1872, 1871, 1870, 1869, 1868, 1867, 1866, 1865, 1864, 1863, 1862, 1861, 1860, 1859, 1858, 1857, 1856, 1855, 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12, 11, 10, 9, 8, 7, 6, 5, 4, 3, 2, 1

SCALE 1:24,000



CONTOUR INTERVAL: 10 FEET

NORTH ARROW: NORTH

This map was produced in accordance with the
National Geospatial Program and US Topographic Standard, 2001.
A metadata file associated with this product is available on the USGS website.



1	2	3
4	5	6
7	8	9

1. Willis Creek
2. New Mexico
3. National
4. National
5. National
6. National
7. National
8. National
9. National

ROAD CLASSIFICATION

Expressway	Local Road
Secondary Road	Local Road
Interstate Road	State Road
US Route	US Route
State Route	State Route

Check with local Planning Service for
the current street conditions and directions.

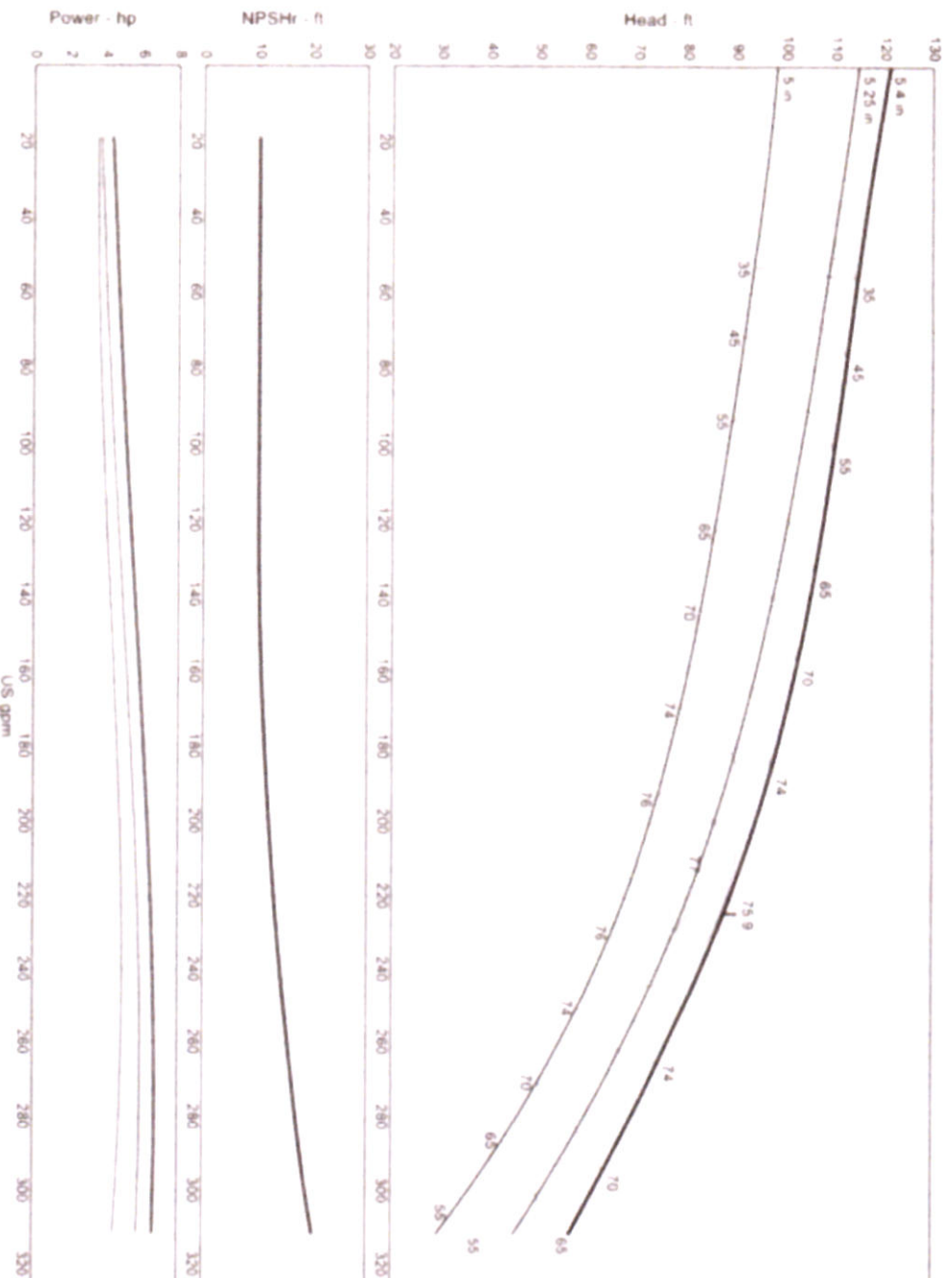
WILLIS, TX
2019



MODEL 7WALC

(Effective July 17, 2019)

Vertical Turbine Pump



Model	7WALC
RPM	3460
Freq Poles	60 Hz 2-pole
Pump Type	Submersible
EFFICIENCY CORRECTION	
1-STAGE	-3.0
2-STAGE	-2.0
3-STAGE	-1.0
4-STAGE	0.0
Impeller Type	Enclosed
Ns	1810
Thrust K-Factor	2.63 lb/ft
Bowl OD	7.13 in
Bowl Lateral	0.50 in
Max PSI	430 psi
Thd Disch Size	4" - 6"

TURBINE OPERATIONS

Lubbock, Texas

NOMINAL BOWL PERFORMANCE CURVE AND DATA BASED ON PUMPING CLEAR, NON-AERATED WATER AND USING STANDARD MATERIALS OF CONSTRUCTION. RATED POINT ONLY CAN BE GUARANTEED BY THE FACTORY. CURVES REPRESENT SINGLE STAGE AVERAGE PERFORMANCE BASED ON TEST OF MULTISTAGE BOWL ASSEMBLY. EFFICIENCY CORRECTION APPLIES DIRECTLY TO EFFICIENCY (%) AND HEAD (ft) FOR LESSER STAGES. ACTUAL DRIVER OPERATING SPEED SHOULD BE VERIFIED.

xylem
Let's Solve Water



Public Well Completion Data Checklist for Approval to Use (Step 2)

Texas Commission on Environmental Quality
Water Supply Division
Plan Review Team MC-159
P.O. Box 13087, Austin, Texas 78711-3087

Public Water System I.D. No. _____
TCEQ Log No. P- _____

The following list is a brief outline of the "Rules for Public Water Systems", 30 TAC Chapter 290 regarding proposed Water Supply Well Completion. Failure to submit the following items may delay project approval. Copies of the rules may be obtained from Texas Register, 1019 Brazos St, Austin, TX, 78701-2413, Phone: (512) 463-5561 or downloaded from the website: <http://www.tceq.texas.gov/rules/indxpdf.html>

Any well proposed as a source of water for a public water supply must have plans approved for construction by TCEQ. Please include the well construction approval letter with your submittal of well completion data listed below for TCEQ evaluation. Based on review of this submitted data, approval may be given for use of the well.

1. ☐ Site map(s) at appropriate scales showing the following: [§290.41(c)(3)(A)]
 - ☐ (i) Final location of the well with coordinates;
 - ☐ (ii) Named roadways;
 - ☐ (iii) All property boundaries within 150 feet of the final well location and the property owners' names;
 - ☐ (iv) Concentric circles with the final well location as the center point with radii of 10 feet, 50 feet, 150 feet, and ¼ mile;
 - ☐ (v) Any site improvements and existing buildings;
 - ☐ (vi) Any existing or potential pollution hazards; and
 - ☐ (vii) Map must be scalable with a north arrow.
2. ☐ A copy of the recorded deed of the property on which the well is located showing the Public Water System (PWS) as the landowner, and/or any of the following:
[§290.41(c)(1)(F)(iv)]
 - ☐ (i) Sanitary control easements (filed at the county courthouse and bearing the county clerk's stamp) covering all land within 150 feet of the well not owned by the PWS (for a sample easement see TCEQ Form 20698);
 - ☐ (ii) For a political subdivision, a copy of an ordinance or land use restriction adopted and enforced by the political subdivision which provides an equivalent or higher level of sanitary protection to the well as a sanitary control easement; and/or
 - ☐ (iii) A copy of a letter granting an exception to the sanitary control easement rule issued by TCEQ's Technical Review and Oversight Team.
3. ☐ Construction data on the completed well: [§290.41(c)(3)(A)]
 - ☐ (i) Final installed pump data including capacity in gallons per minute (gpm), total dynamic head (tdh) in feet, motor horsepower, and setting depth;
 - ☐ (ii) Bore hole diameter(s) (must be 3" larger than casing OD) and total well depth;
 - ☐ (iii) Casing size, length, and material (e.g. 200 lf of 12" PVC ASTM F480 SDR-17);
 - ☐ (iv) Length and material of any screens, blanks, and/or gravel packs utilized;
 - ☐ (v) Cementing depth and pressure method (one of the methods in latest revision of AWWA Standard A-100, Appendix C, excluding the dump bailer and tremie methods);
 - ☐ (vi) Driller's geologic log of strata penetrated during the drilling of the well;
 - ☐ (vii) Cementing certificate; and

Public Well Completion Data Checklist for Approval to Use (Step 2)

- ☐ (viii) Copy of the official State of Texas Well Report (some of the preceding data is included on the Well Report).
4. ☐ A U.S. Geological Survey 7.5-minute topographic quadrangle map (include quadrangle name and number) or a legible copy showing the location of the completed well; [§290.41(c)(3)(A)]
5. ☐ Record of a 36-hour continuous pump test on the well showing stable production at the well's rated capacity. Include the following: [§290.41(c)(3)(G)]
- ☐ (i) Test pump capacity in gpm, tdh in feet, and horsepower of the pump motor;
 - ☐ (ii) Test pump setting depth;
 - ☐ (iii) Static water level (in feet); and
 - ☐ (iv) Draw down (in feet).
6. ☐ Three bacteriological analysis reports for samples collected on three successive days showing raw well water to be free of coliform organisms. Reports must be for samples of raw (untreated) water from the disinfected well and submitted to a laboratory accredited by TCEQ, accredited to perform these test; and [§290.41(c)(3)(F)(i)]
7. ☐ Chemical analysis reports for well water samples showing the water to be of acceptable quality for the most problematic contaminants listed below. Reports must come from a laboratory accredited by TCEQ; accredited to perform these tests. Maximum contaminant level (MCL) and secondary constituent level (SCL) units are in milligrams per liter (except arsenic which is in micrograms per liter). [§290.41(c)(3)(G) and §290.104 and §290.105]

Table 1: Primary Constituents with Maximum Contaminant Level (MCL)

PRIMARY	MCL
Nitrate	10 (as N)
Nitrite	1 (as N)
Arsenic	10
Fluoride	4.0

Table 2: Secondary Constituents with Secondary Contaminant Level (SCL)

SECONDARY	SCL
Aluminum	0.2
Copper	1.0
Iron	0.3
Manganese	0.05
Zinc	5.0
Total Dissolved Solids	1,000
Fluoride	2.0
Sulfate	300
Chloride	300
pH	> 7.0

Public Well Completion Data Checklist for Approval to Use (Step 2)

Table 3: Water Quality Parameters

PARAMETER	UNITS
Alkalinity as CaCO ₃	mg/L
Calcium as CaCO ₃	mg/L
Sodium	mg/L
Lead*	mg/L

Lead is regulated by the lead and copper rule. This analyte is to document the amount of lead in the source water. The level shall be less than 0.010 mg/L for approval to use.

All systems located in a high-risk county (see page 3) shall submit radiological analysis reports for water samples showing the water to be of acceptable quality for the contaminants listed below. Reports must come from a TCEQ accredited laboratory for approval to use of the well.

Table 4: Radionuclides with Maximum Contaminant Level (MCL)

CONTAMINANT	MCL
Gross alpha	15 pCi/L
Radium-226/228	5 pCi/L
Beta particle	50 pCi/L
Uranium	30 µg/L

WHERE: pCi/L = pico curies per liter, µg/L = micrograms per liter

Please be aware when you review your radiological data that if the report has gross alpha over 15 pCi/L and individual uranium isotopes are not reported, you will have to resample or reanalyze and resubmit radionuclide results. If you see gross alpha plus radium-228 over 5 pCi/L, and don't have radium-226, you will have to resample or reanalyze and resubmit complete results.

List of Counties Where Radionuclide Testing Is required

Please be aware that we have added the requirement for analysis for radionuclides for high risk counties. For elevated levels of any contaminants found in a test well, treatment or blending may be required.

Table 5: List of Counties where Radionuclide Testing is required

COUNTY				
Atascosa	Bandera	Bexar	Bosque	Brazoria
Brewster	Burnet	Concho	Culberson	Dallam
Dawson	Erath	Fort Bend	Frio	Garza
Gillespie	Gray	Grayson	Harris	Hudspeth
Irion	Jeff Davis	Jim Wells	Kendall	Kent
Kerr	Kleberg	Liberty	Llano	Lubbock
McCulloch	Mason	Matagorda	Medina	Midland
Montgomery	Moore	Parker	Pecos	Polk
Presidio	Refugio	San Jacinto	San Saba	Tarrant
Travis	Tyler	Upton	Val Verde	Victoria
Walker	Washington	Wichita	Williamson	Zavala

HWW1-G

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981475

Printed 11/03/2021 13:37

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981475_r03_03_ProjectResults	Ana-Lab Project P:981475 C:HWW1 Project Results t:304	2
981475_r99_09_CoC__1_of_1	Ana-Lab CoC HWW1 981475_1_of_1	10
Total Pages:		13

Email: projectmanger@ana-lab.com



Report Page 1 of 14

2600 Dudley Rd. Kilgore, Texas 75662
R: 3306 State Highway 135 N, Kilgore, TX 75662
Office: 903-984-0551 * Fax: 903-984-5914

SAMPLE CROSS REFERENCE

Project

981475

Printed

11/3/2021

Page 1 of 1
SUBCONTRACT

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Sample	Sample ID	Taken	Time	Received		
2024048	DOS AGUAS Water - SUBS	09/16/2021	11:50:00	09/17/2021		
	Method	Bottle	PrepSet	Preparation	QcGroup	Analytical
	EPA 200.8/ ASTM D 5174			09/02/2021		09/02/2021
	SM 7500-Ra B - SUB			08/31/2021		08/31/2021
	SM 7500-Ra D/ EPA 904 - SUB			09/02/2021		09/02/2021
	SM 7110 B / EPA 900 - SUB			09/02/2021		09/02/2021

Email: projectmanger@ana-lab.com



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HWW1-G

Page 1 of 2

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981475

Printed: 11/03/2021

RESULTS

Sample Results

2024048 DOS AGUAS Water - SUBS		Received: 09/17/2021	
Drinking Water	Collected by: MRB	Ana-Lab	PO:
	Taken: 09/16/2021	11:50:00	
EPA 200.8/ASTM D 5174		Prepared: 09/02/2021 14:11:00	Analyzed: 09/02/2021 14:11:00 SUB
Parameter	Results	Units	RL
Uranium (DW) Subcontract	See Attached		EHL1-DW
SM 7110 B / EPA 900 - SUB		Prepared: 09/02/2021 03:41:00	Analyzed: 09/02/2021 03:41:00 SUB
Parameter	Results	Units	RL
Gross Alpha DW Subcontract	See Attached		EHL1-DW
Gross Beta DW Subcontract	See Attached		EHL1-DW
SM 7500-Ra B - SUB		Prepared: 08/31/2021 14:53:00	Analyzed: 08/31/2021 14:53:00 SUB
Parameter	Results	Units	RL
Radium 226 DW Subcontract	See Attached		EHL1-DW
SM 7500-Ra D/ EPA 904 - SUB		Prepared: 09/02/2021 16:33:00	Analyzed: 09/02/2021 16:33:00 SUB
Parameter	Results	Units	RL
Radium 228 DW Subcontract	See Attached		EHL1-DW

Sample Preparation

2024048 DOS AGUAS Water - SUBS		Received: 09/17/2021	
09/16/2021			
		Prepared: 09/20/2021 13:15:58	Calculated: 09/20/2021 13:15:58 CAL



Report Page 3 of 14

HWW1-G

Page 2 of 2

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981475

Printed: 11/03/2021

2024048 DOS AGUAS Water - SUBS

Received: 09/17/2021

09/16/2021

Prepared: 09/20/2021 13:15:58 Calculated: 09/20/2021 13:15:58 CAL

z SUB Shipped Verified
z SUB Shipped Verified

Qualifiers

We report results on an As Received (or Wet) basis unless marked 'Dry Weight'. Unless otherwise noted, testing was performed at Ana-lab corporate laboratory which holds International, Federal, and state accreditations. Please see <https://www.ana-lab-work.com/index.php/accreditations/>
These analytical results relate to the sample tested. This report may NOT be reproduced EXCEPT in FULL without written approval of Ana-Lab Corp. Unless otherwise specified, these test results meet the requirements of NELAP.
RL is the Reporting Limit (sample specific quantitation limit) and is at or above the Method Detection Limit (MDL). CAS is Chemical Abstract Service number. RL is our Reporting Limit, or Minimum Quantitation Level. The RL takes into account the Instrument Detection Limit (IDL), Method Detection Limit (MDL), and Practical Quantitation Limit (PQL), and any dilutions and/or concentrations performed during sample preparation (EQL). Our analytical result must be above this RL before we report a value in the 'Results' column of our report (without a 'J' flag). Otherwise, we report ND (Not Detected above RL), because the result is "<" (less than) the number in the RL column. MAL is Minimum Analytical Level and is typically from regulatory agencies. Unless we report a result in the result column, or interferences prevent it, we work to have our RL at or below the MAL.

Bill Peery

Bill Peery, MS, VP Technical Services



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CHAIN OF CUSTODY

Printed 09/15/2021 Page 1 of 2

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

HWW1-G-4
179

Lab Number 2024048
PO Number _____
Phone 936.295-6098

Dos Aguas Water - SUBS

Matrix: Drinking Water

Sample Collection Start

Date: 9/16/21 Time: 1150

Sampler Printed Name: Matt Brockelman Ana-Lab Corp

Sampler Affiliation: _____

Sampler Signature: [Signature]

Samples Radioactive? ☐

Samples Contains Dioxin? ☐

Samples Biological Hazard? ☐

0 Z -- No bottle required

Subcontract	100S	SUB Shipped
Subcontract	S50	SUB Shipped
	SKL	Sub Hold: PM Attn

10 HNO3 to pH <2 Polyethylene 500 mL

Subcontract	*USu	Uranium (DW) Subcontract	EPA 200.8/ ASTM D 5174 CAS:EHL1-DW (180 days)
Subcontract	226L	Radium 226 DW Subcontract	SM 7500-Ra B - SUB CAS:EHL1-DW (180 days)
Subcontract	228L	Radium 228 DW Subcontract	SM 7500-Ra D/ EPA 904 - SUB CAS:EHL1-DW (180 days)
Subcontract	GrAL	Gross Alpha DW Subcontract	SM 7110 B / EPA 900 - SUB CAS:EHL1-DW (180 days)
Subcontract	GrBL	Gross Beta DW Subcontract	SM 7110 B / EPA 900 - SUB CAS:EHL1-DW (180 days)

Ambient Conditions/Comments



981475 CoC Print Group 001 of 001

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CHAIN OF CUSTODY

Printed 09/15/2021

Page 2 of 2

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

HW1-G-4
179

Date	Time	Relinquished	Received
9/16/21	1700	Printed Name: Matt Brockelman Affiliation: Ana-Lab Corp Signature: [Signature]	Printed Name: UPS Affiliation: [Signature] Signature: [Signature]
		Printed Name: [Signature] Affiliation: [Signature] Signature: [Signature]	Printed Name: Royshawn Thompson Affiliation: Ana-Lab Signature: [Signature]
		Printed Name: [Signature] Affiliation: [Signature] Signature: [Signature]	Printed Name: [Signature] Affiliation: [Signature] Signature: [Signature]
		Printed Name: [Signature] Affiliation: [Signature] Signature: [Signature]	Printed Name: [Signature] Affiliation: [Signature] Signature: [Signature]

Sample Received on Ice? ☐ Yes ☐ No Method of Shipment: ☒ UPS ☐ Bus ☐ FedEx ☐ ~~Hand Carrier~~ ☐ Hand Delivered ☐ Other
Cooler/Sample Secure? ☐ Yes ☐ No If Shipped: Tracking Number & Temp - See Attached Hand Delivered to Region []

The accredited column designates accreditation by A - A2LA, N - NELAP, or Z - not listed under scope of accreditation. Unless otherwise specified, ANA-LAB shall provide these ordered services pursuant to our Standard Terms & Conditions Agreement (available for download from the welcome page at <http://www.ana-lab.com>). Ana-Lab personnel collect samples as specified by Ana-Lab SOP # 000323.

Comments



981475 CoC Print Group 001 of 001



Eaton Analytical

LABORATORY REPORT

If you have any questions concerning this report, please do not hesitate to call us at (800) 332-4345 or (574) 233-4777.

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Eaton Analytical

STATE CERTIFICATION LIST

State	Certification	State	Certification
Alabama	40700	Missouri	880
Alaska	IN00035	Montana	CERT0026
Arizona	AZ0432	Nebraska	NE-OS-05-04
Arkansas	IN00035	Nevada	IN00035
California	2920	New Hampshire*	2124
Colorado	IN00035	New Jersey*	IN598
Colorado Radiochemistry	IN00035	New Mexico	IN00035
Connecticut	PH-0132	New York*	11398
Delaware	IN035	North Carolina	18700
Florida(Primary AB)*	E87775	North Dakota	R-035
Georgia	929	Ohio	87775
Hawaii	IN035	Oklahoma	D9508
Idaho	IN00035	Oregon*	4156
Illinois*	200001	Pennsylvania*	68-00466
Illinois Microbiology	17767	Puerto Rico	IN00035
Illinois Radiochemistry	IN00035	Rhode Island	LAO00343
Indiana Chemistry	C-71-01	South Carolina	95005
Indiana Microbiology	M-76-07	South Dakota	IN00035
Iowa	098	Tennessee	TN02973
Kansas*	E-10233	Texas*	T104704187
Kentucky	90056	Texas/TCEQ	TX207
Louisiana*	LA014	Utah*	IN00035
Maine	IN00035	Vermont	VT-8775
Maryland	209	Virginia*	460275
Massachusetts	M-IN035	Washington	C837
Michigan	9926	West Virginia	9927 C
Minnesota*	018-999-338	Wisconsin	999766900
Mississippi	IN035	Wyoming	IN035
EPA	IN00035		

*NELAP/TNI Recognized Accreditation Bodies



Eaton Analytical

NELAC NARRATIVE PAGE

Client: Ana-Lab

Report #: 529029NP

Eurofins Eaton Analytical, LLC is a NELAP accredited laboratory. All reported results meet the requirements of the NELAC standards, unless otherwise noted.

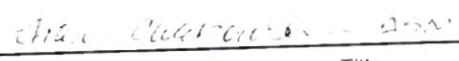
EEA contact person: Traci Chlebowska

NELAP requires complete reporting of deviations from method requirements, regardless of the suspected impact on the data. Quality control failures not reported within the report summary are noted here.

Note: Sample containers were provided by the client.

There were no quality control failures.

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	09/04/2021
Authorized Signature	Title
	Date

Page 1 of 1

981475 CoC Print Group 001 of 001



Eaton Analytical

110 South Hill Street
South Bend, IN 46617
Tel: (574) 233-4777
Fax: (574) 233-8207
1 800 332 4345

Laboratory Report

Client: Ana-Lab

Attn: Tayna Chitwood
2600 Dudley Road
Kilgore, TX 75662

Report: 529029
Priority: Standard Written
Status: Final
PWS ID: Not Supplied

Sample Information					
EEA ID #	Client ID	Method	Collected Date / Time	Collected By:	Received Date / Time
4997912	HWW1-G-4 179	200.8	08/19/21 09:30	Client	08/26/21 15:20
4997913	HWW1-G-4 179	7500-Ra B	08/19/21 09:30	Client	08/26/21 15:20
4997913	HWW1-G-4 179	7500-Ra D	08/19/21 09:30	Client	08/26/21 15:20
4997914	HWW1-G-4 179	7110 B	08/19/21 09:30	Client	08/26/21 15:20
Report Summary					

Detailed quantitative results are presented on the following pages. The results presented relate only to the samples provided for analysis.

We appreciate the opportunity to provide you with this analysis. If you have any questions concerning this report, please do not hesitate to call Traci Chlebowski at (574) 233-4777.

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Tayna Chitwood - Analyst
Authorized Signature
Client Name: Ana-Lab
Report #: 529029

Title

09/04/2021
Date

981475 CoC Print Group 001 of 001

Client Name: Ana-Lab

Report #: 529029

Sampling Point: HWW1-G-4 179

PWS ID: Not Supplied

Metals									
Analyte ID #	Analyte	Method	Reg Limit	MRL†	Result	Units	Preparation Date	Analyzed Date	EEA ID #
7440-61-1	Uranium	200 B	30 *	1.0	< 1.0	ug/L	---	09/02/21 14:11	4997912

Radionuclides										
Analyte ID #	Analyte	Method	Reg Limit	MDA 95**	MRL	Result	Units	Preparation Date	Analyzed	EEA ID #
---	Gross Alpha	7110 B	15 *	1.2	3.0	1.4 ± 1.2	pCi/L	08/27/21 13:45	09/02/21 03:41	4997914
---	Gross Beta	7110 B	---	1.4	4.0	3.1 ± 1.4	pCi/L	08/27/21 13:45	09/02/21 03:41	4997914
13982-63-3	Radium-226	7500-Ra B	---	0.22	1.0	0.67 ± 0.32	pCi/L	08/29/21 11:25	08/31/21 14:53	4997913
15262-20-1	Radium-228	7500-Ra D	---	0.48	1.0	0.14 ± 0.46	pCi/L	08/29/21 11:25	09/02/21 16:33	4997913
---	Combined Radium	calc.	5 *	0.48	1.0	0.81 ± 0.56	pCi/L	08/29/21 11:25	09/02/21 16:33	4997913

** Minimum Detectable Activity (MDA95) shall be that concentration which can be counted with a precision of plus or minus 100% at the 95 % confidence level.

† EEA has demonstrated it can achieve these report limits in reagent water, but can not document them in all sample matrices.

Reg Limit Type:	MCL	SMCL	AL
Symbol:	*	A	!

981475 CoC Print Group 001 of 001

Client Name: Ana-Lab

Report #: 529029

Lab Definitions

Continuing Calibration Check Standard (CCC) / Continuing Calibration Verification (CCV) / Initial Calibration Verification Standard (ICV) / Initial Performance Check (IPC) - is a standard containing one or more of the target analytes that is prepared from the same standards used to calibrate the instrument. This standard is used to verify the calibration curve at the beginning of each analytical sequence, and may also be analyzed throughout and at the end of the sequence. The concentration of continuing standards may be varied, when prescribed by the reference method, so that the range of the calibration curve is verified on a regular basis. CCL, CCM, and CCH are the CCC standards at low, mid, and high concentration levels, respectively.

Internal Standards (IS) - are pure compounds with properties similar to the analytes of interest, which are added to field samples or extracts, calibration standards, and quality control standards at a known concentration. They are used to measure the relative responses of the analytes of interest and surrogates in the sample, calibration standard or quality control standard.

Laboratory Duplicate (LD) - is a field sample aliquot taken from the same sample container in the laboratory and analyzed separately using identical procedures. Analysis of laboratory duplicates provides a measure of the precision of the laboratory procedures.

Laboratory Fortified Blank (LFB) / Laboratory Control Sample (LCS) - is an aliquot of reagent water to which known concentrations of the analytes of interest are added. The LFB is analyzed exactly the same as the field samples. LFBs are used to determine whether the method is in control. FBL, FBM, and FBH are the LFB samples at low, mid, and high concentration levels, respectively.

Laboratory Method Blank (LMB) / Laboratory Reagent Blank (LRB) - is a sample of reagent water included in the sample batch analyzed in the same way as the associated field samples. The LMB is used to determine if method analytes or other background contamination have been introduced during the preparation or analytical procedure. The LMB is analyzed exactly the same as the field samples.

Laboratory Trip Blank (LTB) / Field Reagent Blank (FRB) - is a sample of laboratory reagent water placed in a sample container in the laboratory and treated as a field sample, including storage, preservation, and all analytical procedures. The FRB/LTB container follows the collection bottles to and from the collection site, but the FRB/LTB is not opened at any time during the trip. The FRB/LTB is primarily a travel blank used to verify that the samples were not contaminated during shipment.

If applicable, the calculation of the matrix spike (MS) or matrix spike duplicate (MSD) percent recovery is as follows: $(\text{MS or MSD value} - \text{Sample value}) \times 100 / \text{spike target} / \text{dilution factor} = \text{Recovery \%}$

Matrix Spike Duplicate Sample (MSD) / Laboratory Fortified Sample Matrix Duplicate (LFSMD) - is a sample aliquot taken from the same field sample source as the Matrix Spike Sample to which known quantities of the analytes of interest are added in the laboratory. The MSD is analyzed exactly the same as the field samples. Analysis of the MSD provides a measure of the precision of the laboratory procedures in a specific matrix. SDL, SDM, and SDH / LFSMDL, LFSMDM, and LFSMDH are the MSD or LFSMD at low, mid, and high concentration levels, respectively.

Matrix Spike Sample (MS) / Laboratory Fortified Sample Matrix (LFSM) - is a sample aliquot taken from field sample source to which known quantities of the analytes of interest are added in the laboratory. The MS is analyzed exactly the same as the field samples. The purpose is to demonstrate recovery of the analytes from a sample matrix to determine if the specific matrix contributes bias to the analytical results. MSL, MSM, and MSH / LFSML, LFSMM, and LFSMH are the MS or LFSM at low, mid, and high concentration levels, respectively.

Quality Control Standard (QCS) / Second Source Calibration Verification (SSCV) - is a solution containing known concentrations of the analytes of interest prepared from a source different from the source of the calibration standards. The solution is obtained from a second manufacturer or lot if the lot can be demonstrated by the manufacturer as prepared independently from other lots. The QCS sample is analyzed using the same procedures as field samples. The QCS is used as a check on the calibration standards used in the method on a routine basis.

Reporting Limit Check (RLC) / Initial Calibration Check Standard (ICCS) - is a procedural standard that is analyzed each day to evaluate instrument performance at or below the minimum reporting limit (MRL).

Surrogate Standard (SS) / Surrogate Analyte (SUR) - is a pure compound with properties similar to the analytes of interest, which is highly unlikely to be found in any field sample, that is added to the field samples, calibration standards, blanks and quality control standards before sample preparation. The SS is used to evaluate the efficiency of the sample preparation process.

981475 CoC Print Group 001 of 001

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ANALAB
Testing the Limits of Science and Service

SubContract CHAIN OF CUSTODY

Printed 08/17/2021 Page 1 of 2

Eurofins Eaton Analytical
Traci Chlebowski
110 Hill St
South Bend, IN 46617

HW1-G-4
179

Lab Number 534029
PO Number EHL1

Smiley's **Water - SUBS**

TAT Normal
424398

Matrix: Drinking Water

Sample Collection Start

Date: 8/19/21 Time: 0930

Sampler Printed Name: Matt Brockelman Ana-Lab Corp

Sampler Affiliation:

Sampler Signature: [Signature]

Samples Radioactive? ☐

Samples Contains Dioxin? ☐

Samples Biological Hazard? ☐

5

HNO3 to pH <2 Polyethylene 500 mL

pH Acceptable

4997612
913
914

Subcontract	•USu	Uranium (DW) Subcontract	✓	EPA 909 ASTM D 5174 CAS:EHL1-DW (180 days)
Subcontract	226L	Radium 226 DW Subcontract	✓	SM 7500-Ra B - SUB CAS:EHL1-DW (180 days)
Subcontract	228L	Radium 228 DW Subcontract	✓	SM 7500-Ra D/ EPA 904 - SUB CAS:EHL1-DW (180 days)
Subcontract	GrAL	Gross Alpha DW Subcontract	✓	SM 7110 B / EPA 900 - SUB CAS:EHL1-DW (180 days)
Subcontract	GrBL	Gross Beta DW Subcontract	✓	SM 7110 B / EPA 900 - SUB CAS:EHL1-DW (180 days)

Ambient Conditions/Comments

Date Time	Relinquished	Date Time	Received
8/19/21	Printed Name: <u>Matt Brockelman Ana-Lab Corp</u> Signature: <u>[Signature]</u> Affiliation: <u></u>	8/22/21	Printed Name: <u>[Signature]</u> Signature: <u>[Signature]</u> Affiliation: <u>EEA</u>
	Printed Name: <u></u> Signature: <u></u> Affiliation: <u></u>		Printed Name: <u>[Signature]</u> Signature: <u>[Signature]</u> Affiliation: <u></u>
	Printed Name: <u></u> Signature: <u></u> Affiliation: <u></u>		Printed Name: <u></u> Signature: <u></u> Affiliation: <u></u>
	Printed Name: <u></u> Signature: <u></u> Affiliation: <u></u>		Printed Name: <u></u> Signature: <u></u> Affiliation: <u></u>

Liters Received == 5
(10 x 500 mL)

Ambient



Gulf Coast Region: 4141 Directors Row Ste C Houston TX 77092



981475 CoC Print Group 001 of 001

2600 Dudley Rd. Kilgore, Texas 75662
R. 3306 State Highway 135 N. Kilgore, TX 75662
Office: 903-984-0551 * Fax: 903-984-5914



SubContract CHAIN OF CUSTODY

Printed 08/17/2021

Page 2 of 2

Eurofins Eaton Analytical
Traci Chlebowska
110 Hill St
South Bend, IN 46617

HWW1-G-4
179

1111

South Bend, IN 46617

Sample Received on Ice? ☐ Yes ☒ No Method of Shipment: ☐ UPS ☒ Bus ☐ FedEx ☐ Lone Star ☐ Hand Delivered! ☐ Other _____
Cooler/Sample Secure? ☐ Yes ☒ No If Shipped: Tracking Number & Temp - See Attached Hand Delivered to Region []

The accredited column designates accreditation by A - A2LA, A - N - NELA, or / - not listed under scope of accreditation. Unless otherwise specified, ANA-LAB shall provide these ordered select samples pursuant to our Standard Terms & Conditions Agreement (available for download from the welcome page at <http://www.ana-lab.com>)¹. Ana-Lab personnel collect samples as specified by Ana-Lab SOP #000323.

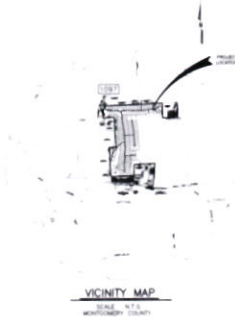
Comments



Gulf Coast Region: 4141 Directors Row Ste C Houston TX 77092

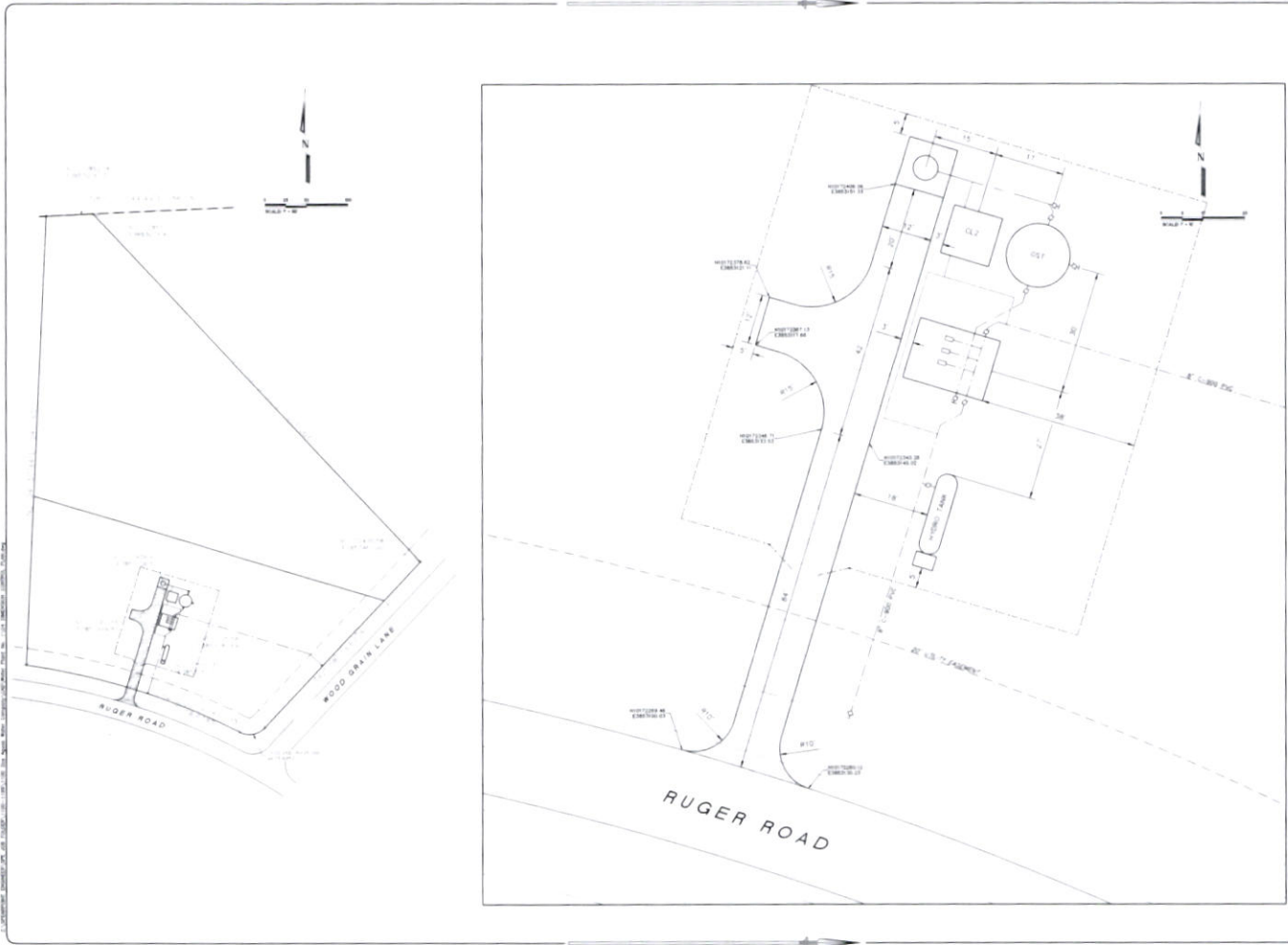


CONSTRUCTION PLANS FOR WATER WELL AND WATER PLANT SITE WATER PLANT NO. 1 (SOUTH WATER PLANT) WILLIS, TEXAS JANUARY 2021



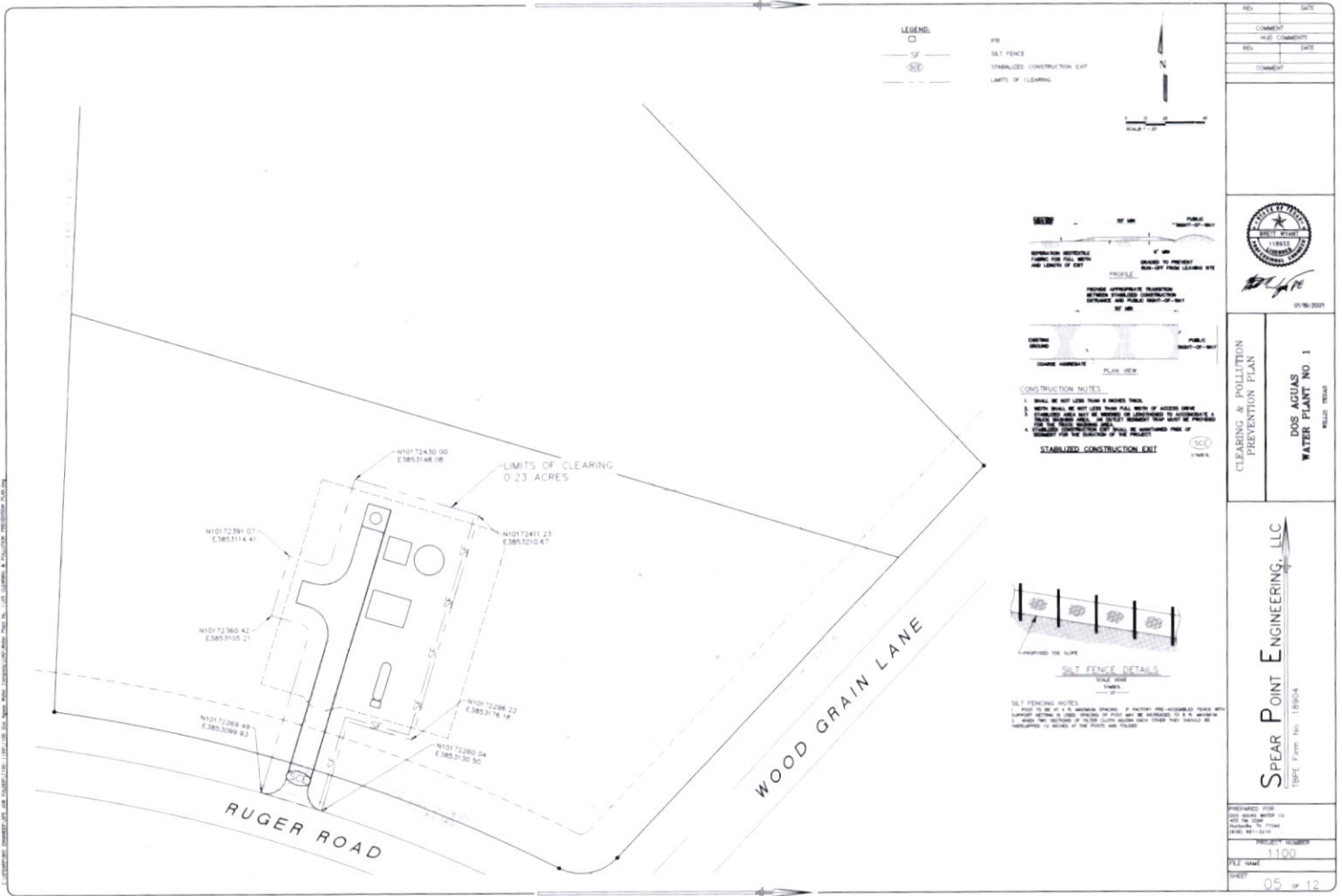
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SPEAR POINT ENGINEERING, LLC TYPE Firm No. 18804	
PREPARED FOR: DOS ACAS 18804 18804 18804	
PROJECT NUMBER: 1100	
SHEET 01 OF 12	

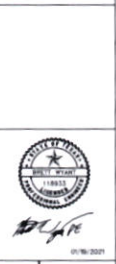


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99	01/16/2021
100	01/16/2021

DIMENSION CONTROL PLAN
 DOS AGUAS
 WATER PLANT NO 1
 SPEAR POINT ENGINEERING, LLC
 TYPE Form No. 18004
 PREPARED FOR
 PREPARED BY
 CHECKED BY
 DATE
 PROJECT NUMBER
 1100
 SHEET
 04 OF 12



REV	DATE



CLEARING & POLLUTION PREVENTION PLAN

DOS AGUAS WATER PLANT NO. 1

WILCO, TEXAS

SPEAR POINT ENGINEERING, LLC

18804

DATE: 01/16/2021

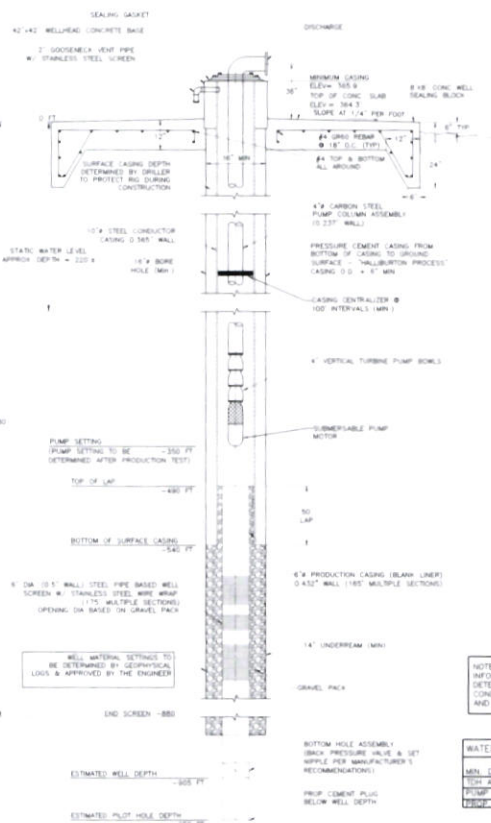
PREPARED FOR: **AGUAS AGUAS**

DATE: 01/16/2021

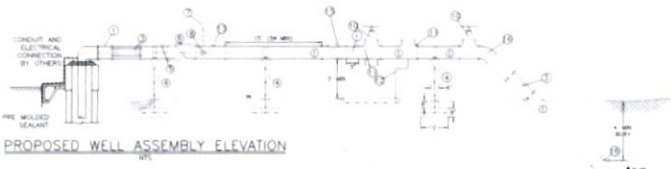
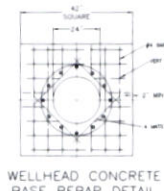
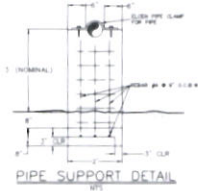
PROJECT NUMBER: **1100**

PLT NAME: **05**

SHEET: **12**



PROPOSED WATER WELL ELEVATION

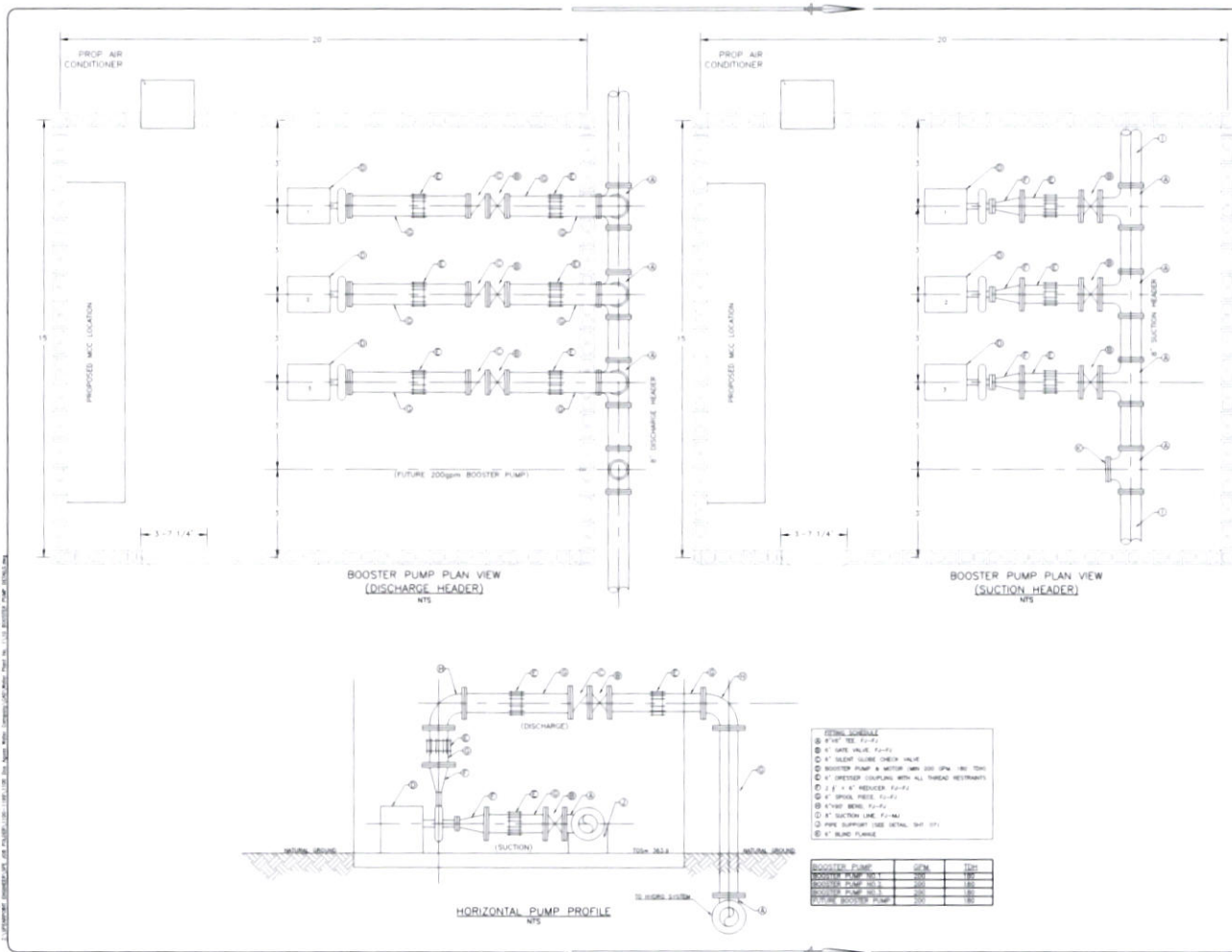


ITEM	DESCRIPTION
1	42" x 42" WELLHEAD CONCRETE BASE
2	3" SODIUM-BENZOATE VENT PIPE
3	W/ STAINLESS STEEL SCREEN
4	8" x 8" CONCRETE WELL SEALING BLOCK
5	4" x 4" GRIND STEEL
6	4" x 4" CARBON STEEL PUMP COLUMN ASSEMBLY
7	4" VERTICAL TURBINE PUMP BOWLS
8	SUBMERSIBLE PUMP MOTOR
9	6" DIA. (3" WALL) STEEL PIPE BASED WELL SCREEN
10	W/ STAINLESS STEEL WIRE WRAP
11	WELL MATERIALS SETTING
12	END SCREEN
13	ESTIMATED WELL DEPTH
14	ESTIMATED PUMP-HOLE DEPTH

NOTE: ALL DEPTHS, DIMENSIONS AND PUMPING INFORMATION ARE APPROXIMATE AND SHALL BE DETERMINED FROM ACTUAL SUBSURFACE CONDITIONS ENCOUNTERED. MATERIALS USED AND LOG OF BORING.

WATER WELL	
MIN. DESIGN PUMPING RATE	175 GPM
TOP OF PUMPING RATE	3.54 FT
PUMP SPEED	1800 RPM
HP/HP MOTOR HORSEPOWER	24 HP

REV	DATE
WATER WELL DETAILS DOS AGUAS WATER PLANT NO. 1 WELLS HEAD	
SPEAR POINT ENGINEERING, LLC TEXAS Permit No. 18804	
PREPARED FOR: DOS AGUAS WATER PLANT NO. 1 DATE: 06-10-2021 PROJECT NUMBER: 1100 FILE NAME: SHEET: 06 OF 12	

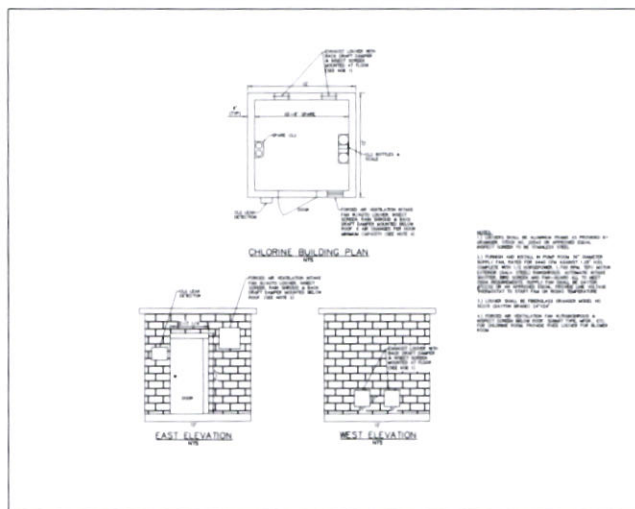


- DETAIL SCHEDULE**
- 1. 4" SCH. 40 PIPE, F.P.
 - 2. 4" SCH. 40 FLANGE, F.P.
 - 3. 4" SILENT VALVE CHECK VALVE
 - 4. BOOSTER PUMP & MOTOR, 200 GPM, 100 TON
 - 5. 4" BRASS COUPLERS WITH ALL THREAD RESTRAINTS
 - 6. 4" BRASS FLEET, F.P.
 - 7. 4" SCH. 40 WELD, F.P.
 - 8. 4" SILENT LINE, F.P.
 - 9. 4" SILENT LINE, DETAIL SH. 10"
 - 10. 4" BLIND FLANGE

BOOSTER PUMP	GPM	TON
BOOSTER PUMP NO. 1	200	100
BOOSTER PUMP NO. 2	200	100
BOOSTER PUMP NO. 3	200	100

REV.	DATE
BOOSTER PUMP DETAILS	
DOS AGUAS WATER PLANT NO. 1 WATER TREAT	
SPEAR POINT ENGINEERING, LLC TYPE Form No. 18504	
PREPARED FOR: DESIGNED BY: DRAWN BY: CHECKED BY:	
PROJECT NUMBER: 1100	
FILE NAME: 10 of 12	

1



REV	DATE
CHLORINE BUILDING DOS AGUAS WATER PLANT NO. 1 WELLS HEAD	
SPEAR POINT ENGINEERING, LLC TEMPE, ARIZONA 85284	
PREPARED FOR: DOS AGUAS WATER PLANT NO. 1 WELLS HEAD	
PROJECT NUMBER: 1100	
PLOT NAME: 12 OF 12	

[illegible]



TCEQ Microbial Reporting Form									
Water System Identification & Sample Collection Information (Please type or use block print)									
Public Water System ID: TX		Public Water System Name: Montgomery							
Name:		County: Scott Robe							
Address: 455 FM 2296		City: Huntsville							
State: Texas		Zip Code: 77340							
Phone #: 936-295-4809		Signature: <i>[Signature]</i>							
Operator License #: WG0018579		Sampler Name (Print): Scott Robe							
Name: Scott Robe		Report Results To:							
Address: 455 FM 2296		City: Huntsville							
State: Texas		Zip Code: 77340							
Phone #: 936-295-4809		Other Contact:							
Signature:		Report to Client By: <i>[Signature]</i>							
Operator: ☐ Owner: ☐ Operator: ☒ Other: ☐		Lab Comments:							
Sample Used?		Temperature							
Yes ☒ No ☐		Received By (Customer, if applicable): <i>[Signature]</i>							
Date / Time: 12-8-21 12:15		Date / Time: 12-8-21 12:15							
Requisitioned By (Customer):		Requisitioned By (Customer): <i>[Signature]</i>							
Corrected Temp		Corrected Temp							
27.8 °C		27.5 °C							
Incubation Date & Time		Incubation Date & Time							
Date / Time: 12/5/21 1310		Date / Time: 12/5/21 1310							
Begin		Begin							
Date: 12/5/21		Date: 12/5/21							
Time: 1535		Time: 1535							
End		End							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Report to Client By: <i>[Signature]</i>		Lab Results							
Chlorine Residual		Chlorine Residual							
Sample ID & Date of Collection		Sample ID & Date of Collection							
2.3		2.3							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Operator: ☐ Owner: ☐ Operator: ☒ Other: ☐		Lab Results							
Sample Used?		Sample Used?							
Yes ☒ No ☐		Received By (Customer, if applicable): <i>[Signature]</i>							
Date / Time: 12-8-21 12:15		Date / Time: 12-8-21 12:15							
Requisitioned By (Customer):		Requisitioned By (Customer): <i>[Signature]</i>							
Corrected Temp		Corrected Temp							
27.8 °C		27.5 °C							
Incubation Date & Time		Incubation Date & Time							
Date / Time: 12/5/21 1310		Date / Time: 12/5/21 1310							
Begin		Begin							
Date: 12/5/21		Date: 12/5/21							
Time: 1535		Time: 1535							
End		End							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Report to Client By: <i>[Signature]</i>		Lab Results							
Chlorine Residual		Chlorine Residual							
Sample ID & Date of Collection		Sample ID & Date of Collection							
2.3		2.3							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Operator: ☐ Owner: ☐ Operator: ☒ Other: ☐		Lab Results							
Sample Used?		Sample Used?							
Yes ☒ No ☐		Received By (Customer, if applicable): <i>[Signature]</i>							
Date / Time: 12-8-21 12:15		Date / Time: 12-8-21 12:15							
Requisitioned By (Customer):		Requisitioned By (Customer): <i>[Signature]</i>							
Corrected Temp		Corrected Temp							
27.8 °C		27.5 °C							
Incubation Date & Time		Incubation Date & Time							
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Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Report to Client By: <i>[Signature]</i>		Lab Results							
Chlorine Residual		Chlorine Residual							
Sample ID & Date of Collection		Sample ID & Date of Collection							
2.3		2.3							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Operator: ☐ Owner: ☐ Operator: ☒ Other: ☐		Lab Results							
Sample Used?		Sample Used?							
Yes ☒ No ☐		Received By (Customer, if applicable): <i>[Signature]</i>							
Date / Time: 12-8-21 12:15		Date / Time: 12-8-21 12:15							
Requisitioned By (Customer):		Requisitioned By (Customer): <i>[Signature]</i>							
Corrected Temp		Corrected Temp							
27.8 °C		27.5 °C							
Incubation Date & Time		Incubation Date & Time							
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End		End							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Report to Client By: <i>[Signature]</i>		Lab Results							
Chlorine Residual		Chlorine Residual							
Sample ID & Date of Collection		Sample ID & Date of Collection							
2.3		2.3							
Date: 12/10/21		Date: 12/10/21							
Time: 1800		Time: 1800							
Operator: ☐ Owner: ☐ Operator: ☒ Other: ☐		Lab Results							
Sample Used?		Sample Used?							

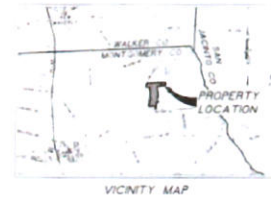
TCEQ Microbial Reporting Form		Public Water System ID		Public Water System Name		County		Name		Address		City		State		Phone #		Sampler Name (Print)		Signature		Operator License #	
Chaparral Laboratories, Inc.		TX		Chaparral Laboratories, Inc.		Montgomery		Scott Roche		455 FM 2296		Huntsville		Texas		936-295-4809		Scott Roche		[Signature]		WG0018579	
P.O. Box 1622 Huntsville, TX 77342		TCEQ Form 1625		www.chaparrallabs.com Phone: 936-291-1881 Fax: 936-295-1731																			
861 State Hwy 19 Huntsville, TX 77320		06/20/17		TCEQ Laboratory ID: T104704204																			
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10/10/10

10/10/10

Attachment 1E

REPUBLIC GRAND RANCH SECTION 1 SHEET INDEX



1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50
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Addressed: SE
 Signature: SE
 Approved: SE

11/23/2020 10:27
 MCECD - 911

WILLIS 77378

REPUBLIC GRAND RANCH SECTION 1

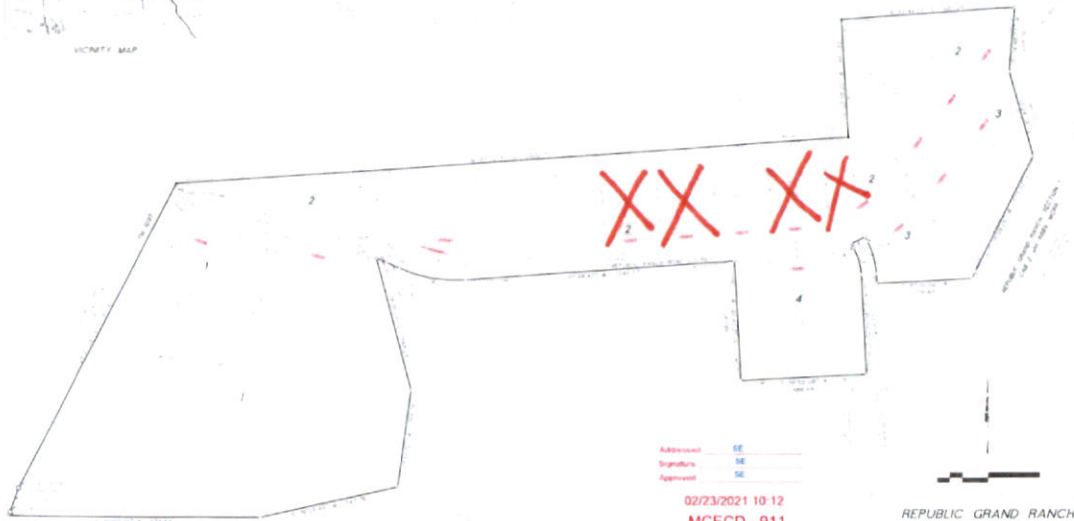
JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

INDIVIDUAL SHEETS INDEX

1 Vicinity Map and Street Number Layout

SHEET 1 OF 5

Section 1 - 17 NEW SERVICE REQUESTS



Addressed: SE
Signed: SE
Approved: SE

02/23/2021 10:12
MCECD - 911

WILLIS 77378

REPUBLIC GRAND RANCH
SECTION 2

JOTA MARIA DE LA GARZA GRANT, A-K-A
MONTGOMERY COUNTY, TEXAS

PRELIMINARY
- NOT FOR RECORD -

Section 2 - 4 NEW SERVICE REQUESTS



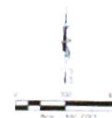
REPUBLIC GRAND RANCH SECTION 3



Author: SE
Reviewer: SE
Approved: SE

03/11/2021 09:56
MCECD - 911

W11140-71378



MONTGOMERY COUNTY, TEXAS ADDRESS: EXHIBIT
REPUBLIC GRAND RANCH
SECTION 3
CONTAINING 1 BLOCK, 176 LOTS, 1 RESERVE
A 200.00 AC. TRACT, 164.24 ACRES OF LAND
LIES IN THE 481.24 ACRES REPUBLIC GRAND
RANCH 22 TRACT, JERRY'S FILE NO. 2019113417
MONTGOMERY COUNTY, TEXAS PUBLIC 2019-10-15
JOSE MARIA DE LA GARZA GRANT, A-18
MONTGOMERY COUNTY, TEXAS

FEARLESS 2021

11/11/2021 10:00:00 AM

11/11/2021 10:00:00 AM

11/11/2021 10:00:00 AM

11/11/2021 10:00:00 AM

11/11/2021 10:00:00 AM

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LEGEND
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2. 2nd Edition
3. 3rd Edition
4. 4th Edition
5. 5th Edition
6. 6th Edition
7. 7th Edition
8. 8th Edition
9. 9th Edition
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100. 100th Edition

Section 3 - 6 NEW SERVICE REQUESTS

Section 4 - 7-NEW SERVICE REQUESTS

SHEET 1 OF 1

JOSE MARIA DE LA GARZA GRANT A-15
MONTGOMERY COUNTY, TEXAS
REPUBLIC GRAND RANCH
SECTION 4

WHITES 7778

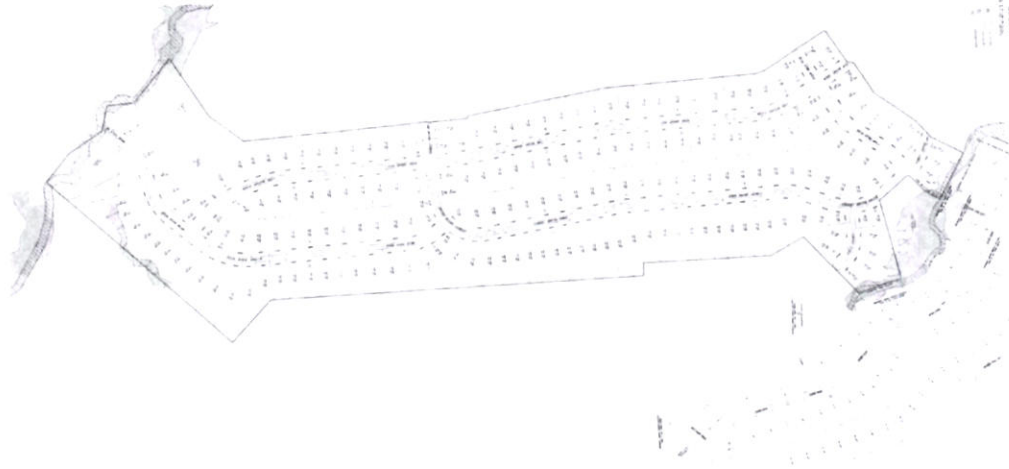
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REPUBLIC GRAND RANCH SECTION 4

REPUBLIC GRAND RANCH SECTION 9



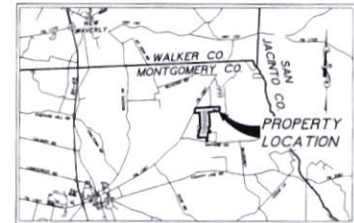
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SECTION 9
REPUBLIC GRAND RANCH

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Attachment 1F
Confidential

Attachment 1G

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10154 S.M. 150,
New Beverly, TX 77358
928-713-1841
Renee Howes,
Authorized Agent
P. O. Box 261,
Skull Valley, AZ 86338
rhowesconsulting@gmail.com



VICINITY MAP
Not To Scale

THIS SHEET NOT TO SCALE

CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77558
TBPCL Form No. 10194080
936-661-3325

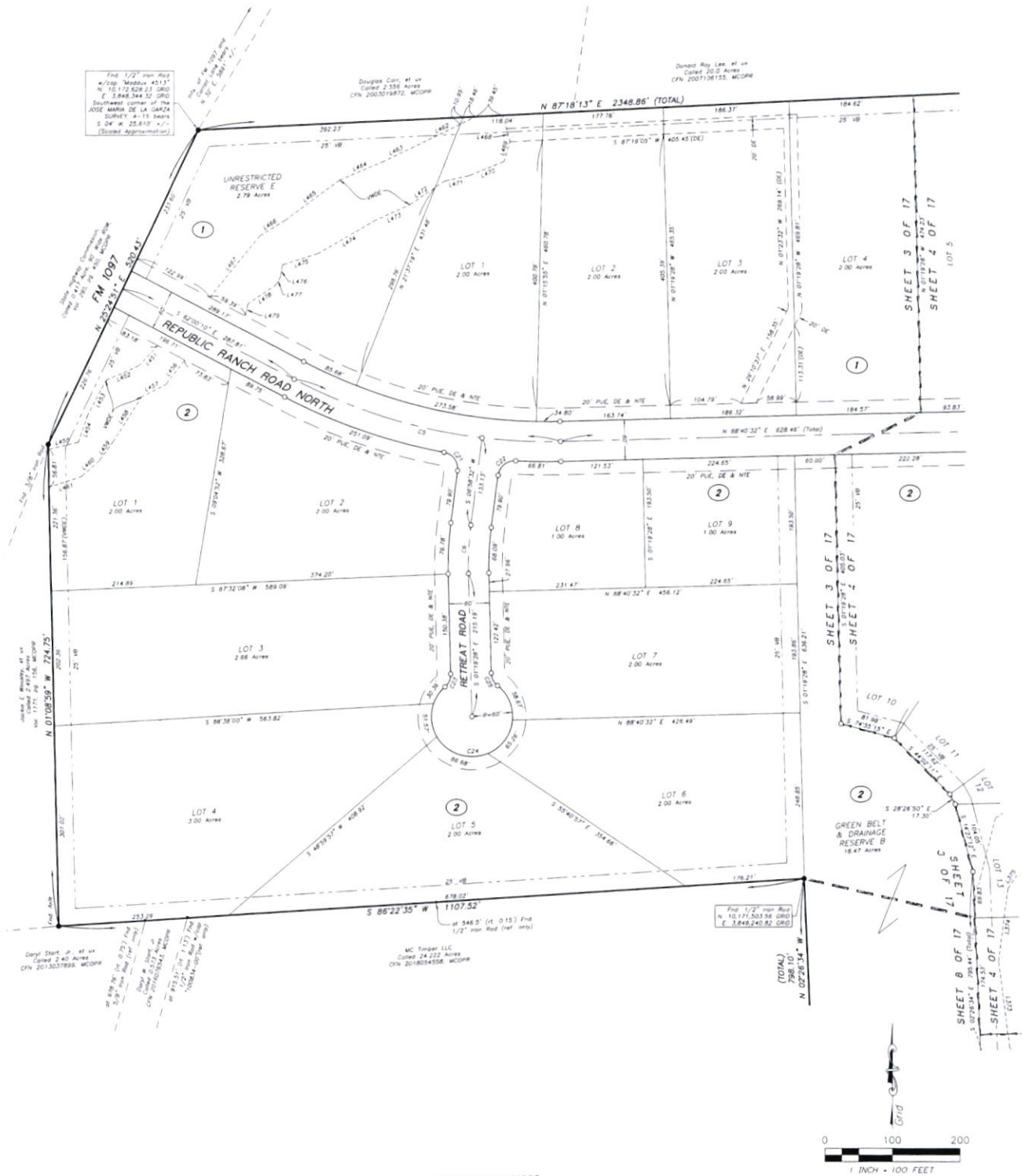
Job No. 20-007

SHEET 1 OF 17

[illegible]

DOC # 2020146985
Cabinet 00Z Sheet 6889

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1, 4 and 5	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Block 2 and 4	17	WVDE Line Tables
9	Block 4		



DOC # 2020146985
Cabinet 00Z Sheet 6891

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10154 S.H. 150
New Mexico, TX 77358
828-713-1841
Renee Hansen,
Authorized Agent
P.O. Box 261,
Sault Ste. Marie, MI 49783
rhan@republicgrandranch.com

PLAT OF
**REPUBLIC GRAND RANCH
SECTION 1**
CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE NO. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

NORMAN, Inc.
P.O. Box 1556, New Mexico, TX 77358
TEL: 817-444-1000
936-661-3325

Job No. 20-007

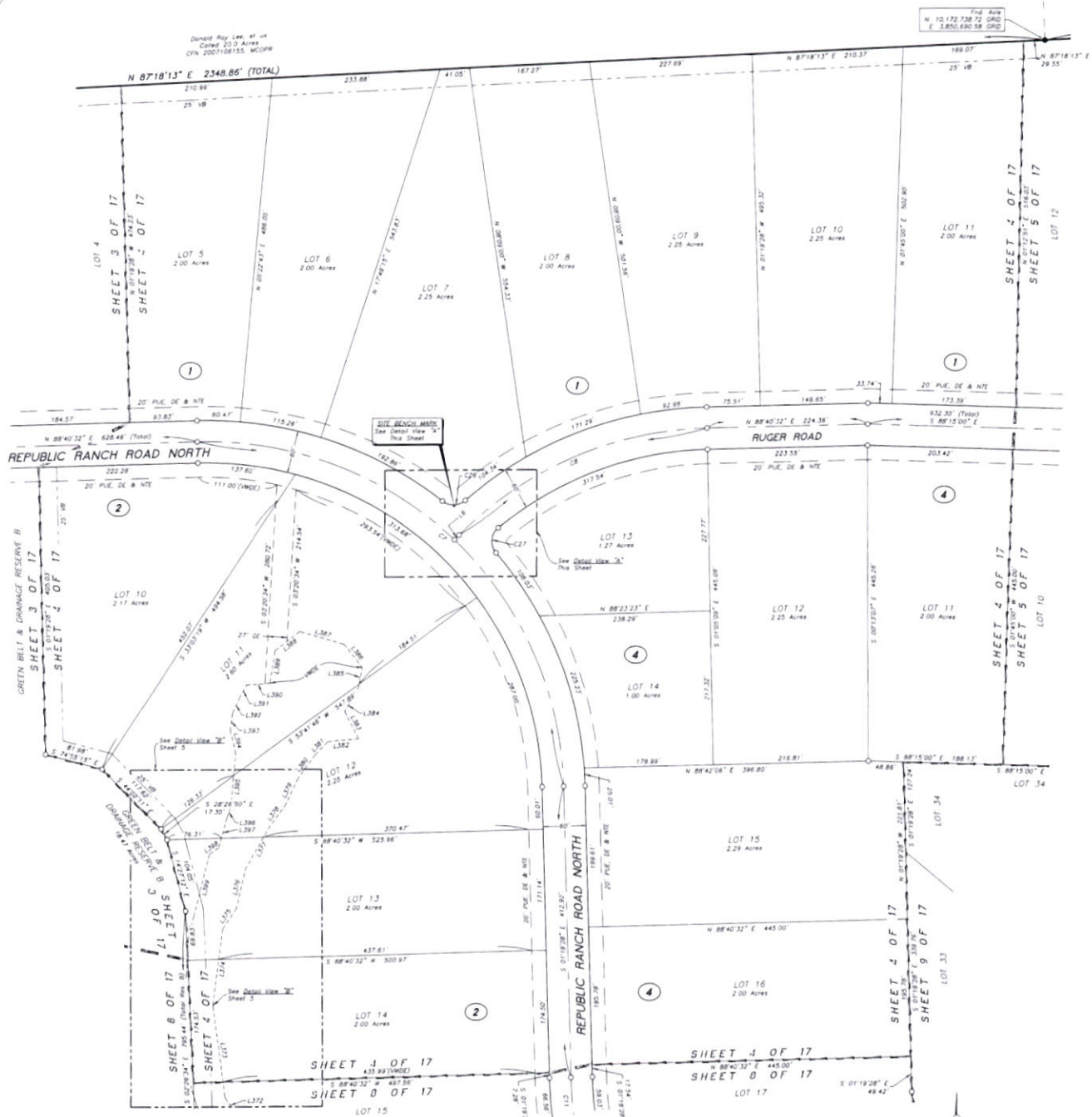
SHEET 3 OF 17

LEGEND

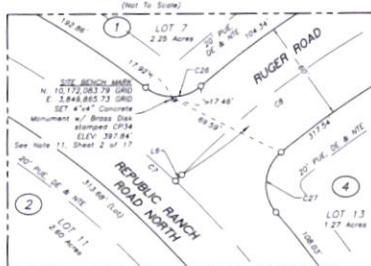
- ④ Block Number
- CMP Found Concrete Monument, size and type as noted
- PNF Found Pin Nails
- SMC Found 5/8" Iron Rod
- 4000' R/W Found 1/2" Iron Rod, with cap as noted, unless otherwise noted
- SMC Found 5/8" Iron Rod with cap as noted
- SMC Found 5/8" Iron Rod with 1-3/4" blue plastic cap, no
- MECHAS A. NAKKEN RPLS 6537' UNLESS OTHERWISE NOTED
- Clerk's File Number
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- MCDR Montgomery County Deed Records
- MCDR Montgomery County Official Public Records
- MCDR Montgomery County Real Property Records
- MCDR Montgomery County Plat Records
- VBI Vegetative Buffer
- VWDV Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	VWDV Line Tables
9	Block 4		



DETAIL VIEW 'A'



LEGEND

- ④ Block Number
- CMP Found Concrete Monument, size and type as noted
- FWP Found Pine Knot
- SSM Found S&P Iron Rod
- SSM Found S&P Iron Rod with cap as noted, unless otherwise noted
- SSM Found S&P Iron Rod with cap as noted
- SSM Found S&P Iron Rod with 1/4" blue plastic cap and MECHANICAL A, NAMEN RPLS 6557, UNLESS OTHERWISE NOTED
- Clerk's File Number
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Vegetative Buffer
- Variable Width Private Drainage Easement

DOC # 2020146985
Cabinet 002 Sheet 6992

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
13134 S.M. 136
New Mexico, TX 77358
928-713-1841
Roses Roads
Authorized Agent
P.O. Box 26
Shall Valley, AZ 85318
rosesconsulting@gmail.com

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Block 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	VMDE Line Tables
9	Block 4		

PLAT OF
REPUBLIC GRAND RANCH
SECTION 1

CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

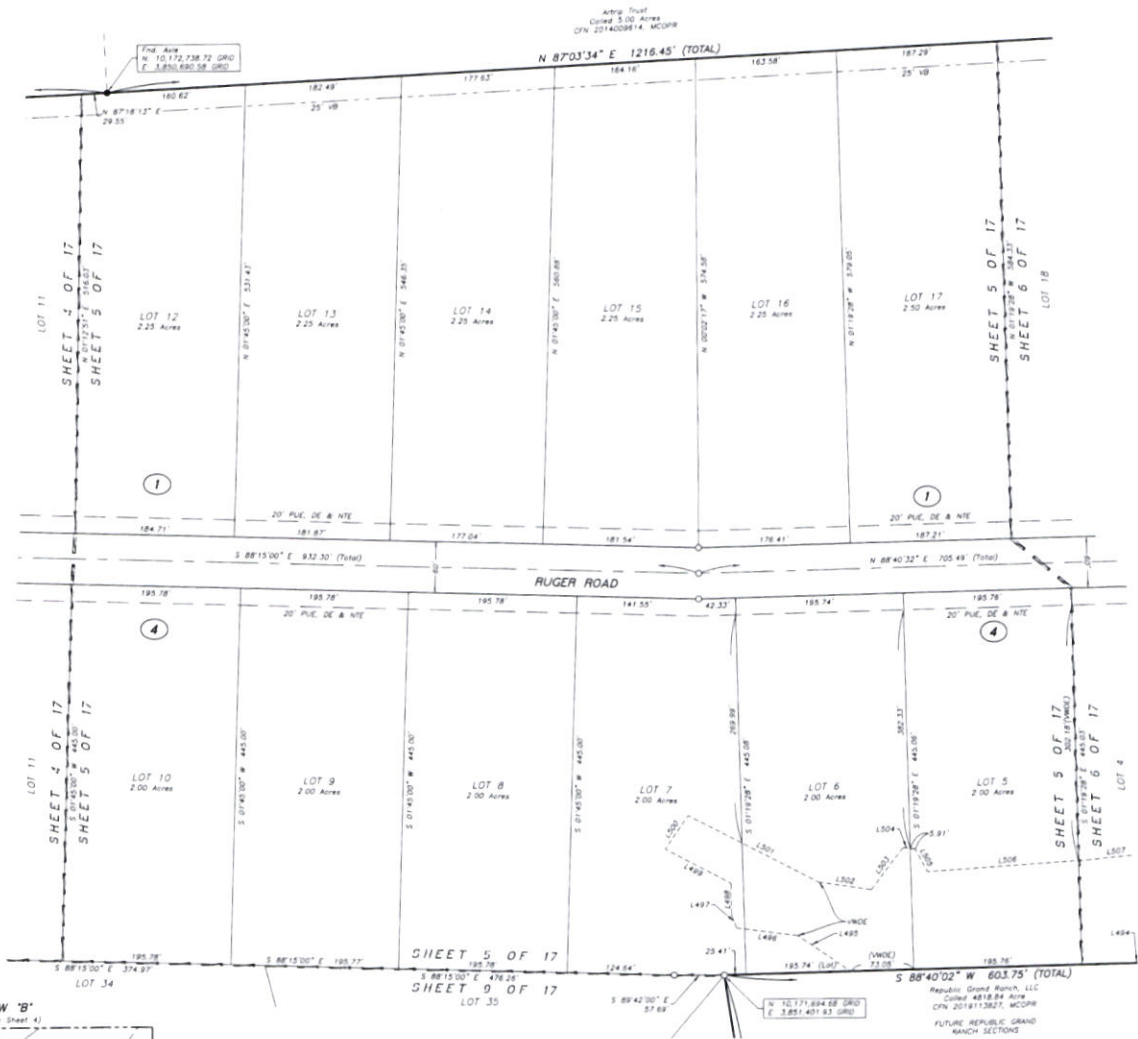
A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE NO. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

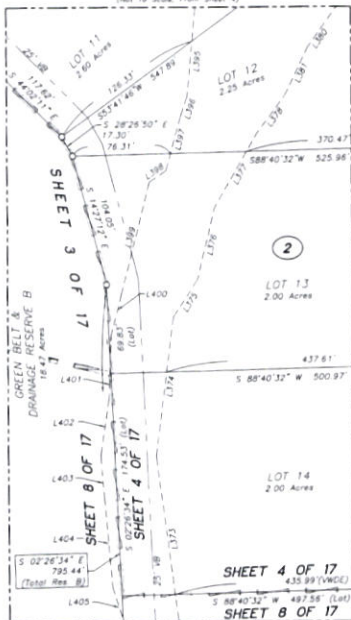
Norman, Inc.
P.O. Box 1528 New Mexico, TX 77358
TAPES Form No. 1034030
936-661-5325

Job No. 20-007

SHEET 4 OF 17



DETAIL VIEW "B"
(Not To Scale From Sheet 4)



LEGEND

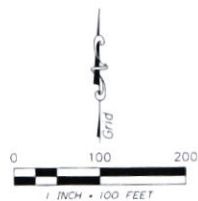
- 4 Block Number
- CMF Found Concrete Monument, size and type as noted
- FW Found Pole Knot
- 5/8\"/>

DOC # 2020146985
Cabinet 002 Sheet 6093

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
1015A S.W. 150,
New University, TX 77358
928-713-1841
Renee Rivers,
Authorized Agent
P.O. Box 241,
Sauls Valley, AZ 86238
rivers@republicgrandranch.com

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	VWDE Line Tables
9	Block 4		



PLAT OF
REPUBLIC GRAND RANCH
SECTION 1
CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES
A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

Nguyen, Inc.
P.O. Box 158, New Waverly, TX 77358
TAMU's Form No. 100-940-00
936-661-3525

Job No. 20-007

SHEET 5 OF 17



P:\NSCI Jobs\01 Survey\JOBS-2020-007 RGR - SECTION 1\DWG\PLAT - S1\20-007 RGR SECT 1 PLAT.dwg, SHT 6, 11/30/2020 10:22:17 AM, AMH

LINE	BEARING	DISTANCE
1	S 65°06'24" W	61.10
2	N 12°46'34" E	23.61
3	N 81°37'48" E	60.00
4	S 14°13'10" E	61.05
5	N 85°55'50" E	82.91
6	N 14°52'50" E	92.91
7	N 86°39'40" W	55.00
8	S 86°39'40" W	20.51
9	S 12°30'51" W	46.21
10	S 12°30'51" W	128.61
11	S 12°30'51" W	35.19
12	N 86°24'41" E	85.44
13	N 86°24'41" E	26.26
14	N 86°24'41" E	15.00



CURVE	ARC LENGTH	MAJORS	CHORD BEARING	CURVE LENGTH	BETA ANGLE
C1	77.42	830.00	N 34.42° E	77.39	91° 50' 30"
C2	61.82	830.00	N 10.14° E	61.80	91° 50' 30"
C3	61.82	830.00	S 10.14° S	61.80	49° 42' 00"
C4	313.52	1911.14	N 83.15° W	313.13	2° 16' 20"
C5	76.23	500.00	S 04.33° E	76.23	91° 50' 30"
C6	76.23	500.00	S 04.33° E	76.23	8° 18' 50"
C7	785.40	500.00	E 48° 19' 28"	785.71	90° 00' 00"
C8	785.40	500.00	E 48° 19' 28"	785.71	90° 00' 00"
C9	61.45	500.00	N 85° 05' 00"	61.45	7° 05' 44"
C10	873.94	800.00	N 67° 04' 30"	871.13	36° 32' 19"
C11	39.02	500.00	S 06° 17' 05"	39.01	91° 50' 30"
C12	39.02	500.00	S 06° 17' 05"	39.01	4° 28' 11"
C13	374.80	500.00	S 08° 17' 29"	375.08	16° 04' 20"
C14	81.16	500.00	S 07° 55' 21"	81.08	91° 50' 30"
C15	81.16	500.00	S 07° 55' 21"	81.08	2° 31' 45"
C16	81.13	500.00	S 04° 12' 26"	81.03	91° 50' 30"
C17	81.13	500.00	S 04° 12' 26"	81.03	2° 31' 45"
C18	110.13	500.00	S 09° 14' 09"	109.84	7° 19' 50"
C19	81.62	500.00	S 07° 21' 51"	81.58	91° 50' 30"
C20	81.62	500.00	S 07° 21' 51"	81.58	91° 50' 30"
C21	37.65	25.00	S 38° 10' 49"	34.20	60° 18' 48"
C22	37.65	25.00	S 38° 10' 49"	34.20	60° 18' 48"
C23	37.65	25.00	S 38° 10' 49"	34.20	60° 18' 48"
C24	32.54	80.00	N 88° 40' 33"	32.65	7° 39' 21" 4"
C25	32.54	80.00	N 20° 05' 51"	32.65	49° 40' 47"
C26	14.78	25.00	N 89° 04' 04"	14.78	90° 00' 00"
C27	32.38	25.00	S 04° 53' 19"	35.34	90° 01' 13"
C28	32.38	25.00	S 04° 53' 19"	35.34	90° 00' 00"
C29	32.38	25.00	S 04° 53' 19"	35.34	90° 00' 00"

CURVE	ARC	LENGTH	RADIUS	CHORD	BEARING	CHORD	LENGTH OF THE ARC
C30	32.26	75.00	N 79°56'18" E	70.00	7356.07'		
C31	42.99	45.00	N 67°12'18" E	37.86	3830.94'		
C32	42.99	45.00	N 67°12'18" E	37.86	3830.94'		
C33	232.54	60.00	N 47°01'45" W	57.65	2797.91'		
C34	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C35	32.26	75.00	N 47°01'45" W	71.00	4940.47'		
C36	39.23	75.00	N 47°01'45" W	71.00	4940.47'		
C37	39.23	75.00	N 47°01'45" W	71.00	4940.47'		
C38	39.23	75.00	N 47°01'45" W	71.00	4940.47'		
C39	39.18	75.00	N 47°01'45" W	71.00	4940.47'		
C40	39.18	75.00	N 47°01'45" W	71.00	4940.47'		
C41	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C42	232.54	60.00	N 47°01'45" W	57.65	2797.91'		
C43	32.26	75.00	N 47°01'45" W	71.00	4940.47'		
C44	32.26	75.00	N 47°01'45" W	71.00	4940.47'		
C45	39.23	75.00	N 47°01'45" W	71.00	4940.47'		
C46	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C47	32.26	75.00	N 47°01'45" W	71.00	4940.47'		
C48	32.26	75.00	N 47°01'45" W	71.00	4940.47'		
C49	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C50	232.54	60.00	N 47°01'45" W	57.65	2797.91'		
C51	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C52	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C53	232.54	60.00	N 47°01'45" W	57.65	2797.91'		
C54	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C55	21.68	75.00	N 47°01'45" W	71.00	4940.47'		
C56	232.54	60.00	N 47°01'45" W	57.65	2797.91'		
C57	21.68	75.00	N 47°01'45" W	71.00	4940.47'		

	Blank Number
	Fund Concrete Monument, size and type as noted
	Fund Pole sign
	Fund 3"x8" Iron Rod
	Fund 1/2" Iron Rod with cap as noted, unless otherwise noted
	Fund 5/8"x8" Iron Rod with cap as noted
	Fund/Set 5/8" Iron Rod with 1/4" flat plastic cap max.
	NCH&M, & NABERN PLG #6553 UNLESS otherwise noted
	Civil & Fire Station
PFN	Public Utility, Engineering, Easement & Nature Trail Easement
PLC, DE & RTE	Multigenerational County Deed Records
MCOR	Municipality County Real Property Records
MCORP	Municipality County Real Property Records
MCORP	Municipality County Plot Records
VDF	Vegetative Buffer
VDF	Variable Private Driveway Easement

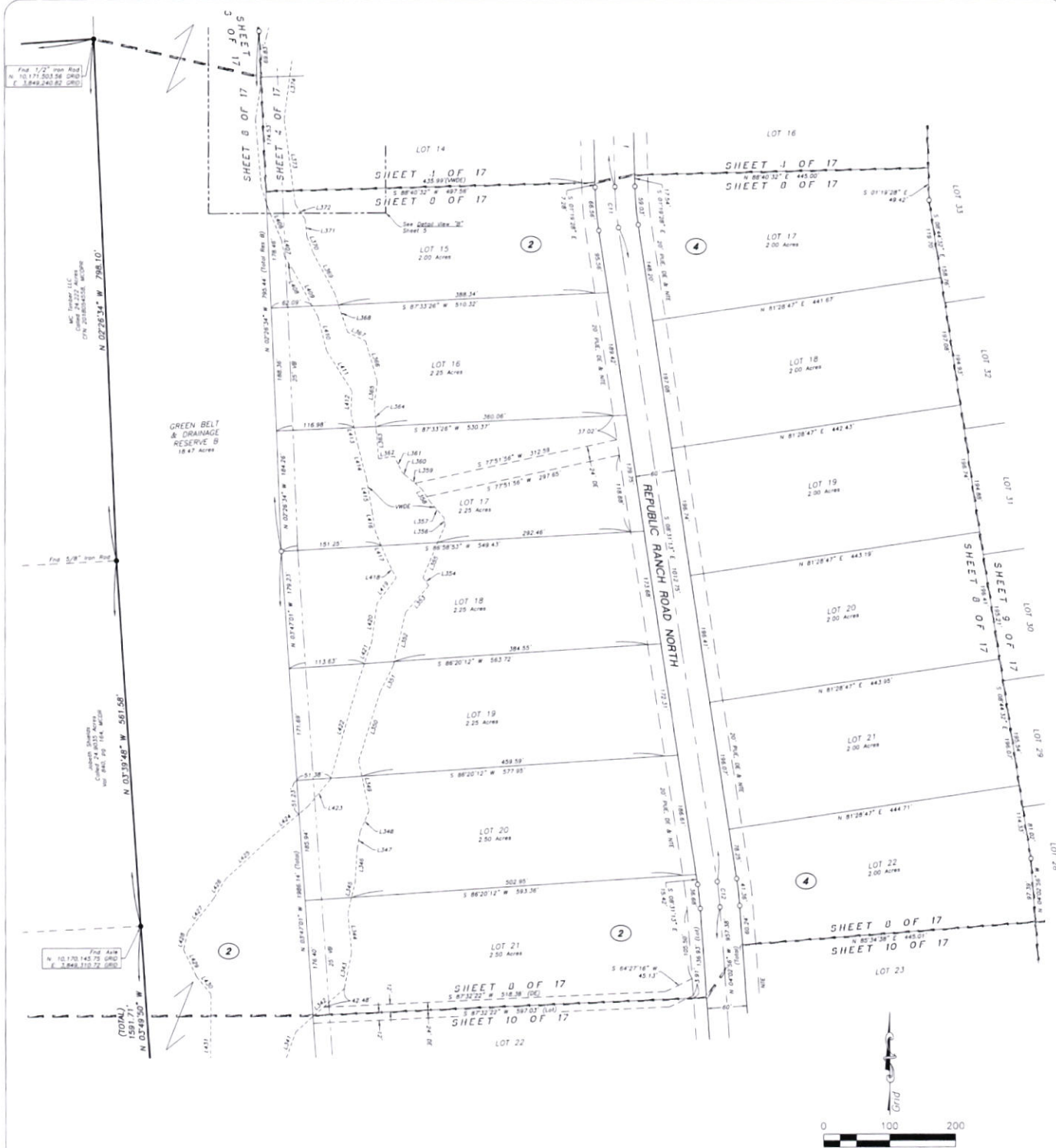
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3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5 Line and Curve Tables	16	Block 3
8	Block 3	17	WISG Line Tables
9	Block 4		

A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS,
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

Nomken, Inc.
P.O. Box 1158, New Waverly, Tx 77558
TBPELS Form No. 1094090
936-661-3325

Job No. 20-007

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DOC # 2020146985
Cabinet 002 Sheet 6896



- LEGEND**
- ④ Block Number
 - CMP Found Concrete Monument, size and type as noted
 - NWP Found Pine Knot
 - SWS Found 5/8" Iron Rod
 - 400' R/W Found 1/2" Iron Rod, with cap as noted, unless otherwise noted
 - SWS Found 5/8" Iron Rod, with cap as noted
 - Found 5/8" Iron Rod, with 1-5/4" blue plastic cap, and MICHAEL A. NAMKEN RPLS 6537, UNLESS otherwise noted
 - Clerk's File Number
 - PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
 - MCWR Montgomery County Ward Records
 - MCORP Montgomery County Official Public Records
 - MCWRP Montgomery County Real Property Records
 - MCPR Montgomery County Plat Records
 - VB Vegetative Buffer
 - VWDE Variable Width Private Drainage Easement

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10154 S.H. 150
New Mexico, TX 77358
928-712-1841

Survey Notes:
Authorized Agent
P.O. Box 261
Still Point, TX 77358
rhouseconsulting@gmail.com

INDIVIDUAL SHEETS INDEX

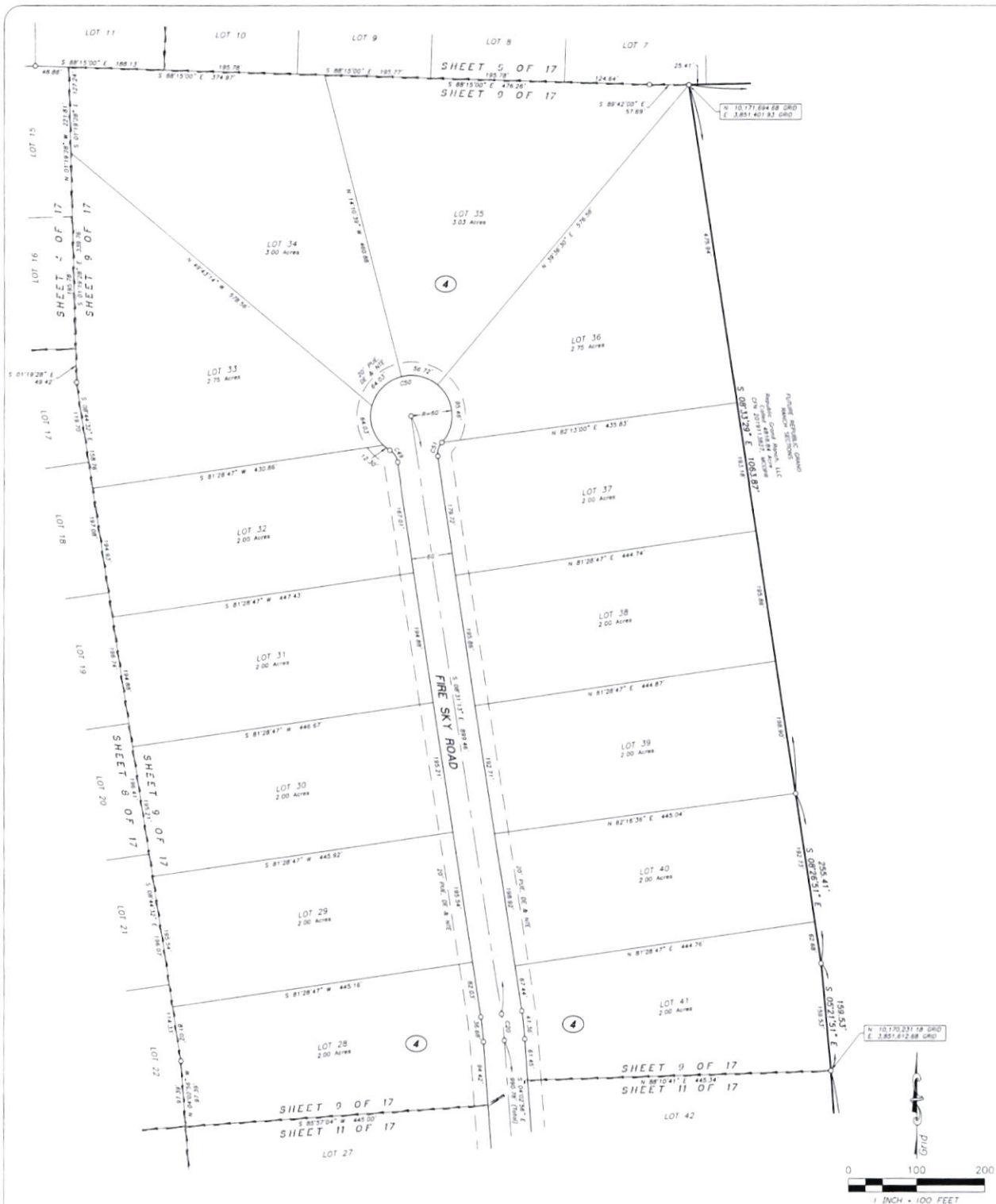
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2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
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6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	VWDE Line Tables
9	Block 4		

PLAT OF
**REPUBLIC GRAND RANCH
SECTION 1**
CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES
A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS.
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020
Norman, Inc.
P.O. Box 1056, New Mexico, TX 77358
TIPELS Firm No. 1204090
936-661-3325

Job No. 20-007

SHEET 8 OF 17



DOC # 2020146985
Cabinet 00Z Sheet 6897

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
1015A S.W. 150,
New Waverly, TX 77358
928-713-1841

Renee Howes,
Authorized Agent
P.O. Box 261,
Skull Valley, AZ 86338
rhowesconsulting@gmail.com

PLAT OF
REPUBLIC GRAND RANCH
SECTION 1

A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

Namken, Inc.
P.O. Box 458, New Beverly, Tx 77558
TBPELS Firm No. 10194090
936-661-3325

Job No. 20-007

SHEET 9 OF 17

LEGEND

4. **Box Number**
 • ZNF Found Concrete Monument size and type as noted
 • ZNF Found Pole
 • ZNF Found 3"-8" Iron Rod
 • ZNF Found 1/2" Iron Rod with cap as noted, unless otherwise noted
 • ZNF Found 5/8" Iron Rod with cap as noted
 • ZNF Found 5/8" Iron Rod with 1/4" blue plastic cap and
 MICHAEL & NABERN R/S 6535: UNLESS otherwise noted
 Clerk's Office
 Public Utility Extension, Drapage Escamot & Nature Trail Escamot
 Montgomery County Deed Records
 Montgomery County Official Map Records
 Montgomery County Real Property Records
 Montgomery County Plat Records
 VBI Vegetation Buffer
 WFD Wetlands Depth Drapage Escamot

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	W&E Line Tables
9	Block 4		



DOC # 2020146985
Cabinet 002 Sheet 8898

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10154 S.H. 150,
New Rivers, TX 77358
928-713-1841
James Hovess,
Authorized Agent
P.O. Box 361,
Shull, MO, 64638
mhovess@comcast.net

LEGEND

- ④ Block Number
- CMP Found Concrete Monument, size and type as noted
- FWP Found Pine Knot
- SIRE Found 5/8" Iron Rod
- 43RF/43VF Found 1/2" Iron Rod, with cap as noted, unless otherwise noted
- SRF Found 5/8" Iron Rod, with cap as noted
- SRF Found 5/8" Iron Rod with 1.54" blue plastic cap, read "MICHAEL A. NARMEN RPLS 6537" UNLESS otherwise noted
- Clerk's File Number
- PLU, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- MCORP Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- VB Vegetative Buffer
- VWDE Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	VWDE Line Tables
9	Block 4		

PLAT OF REPUBLIC GRAND RANCH SECTION 1

CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

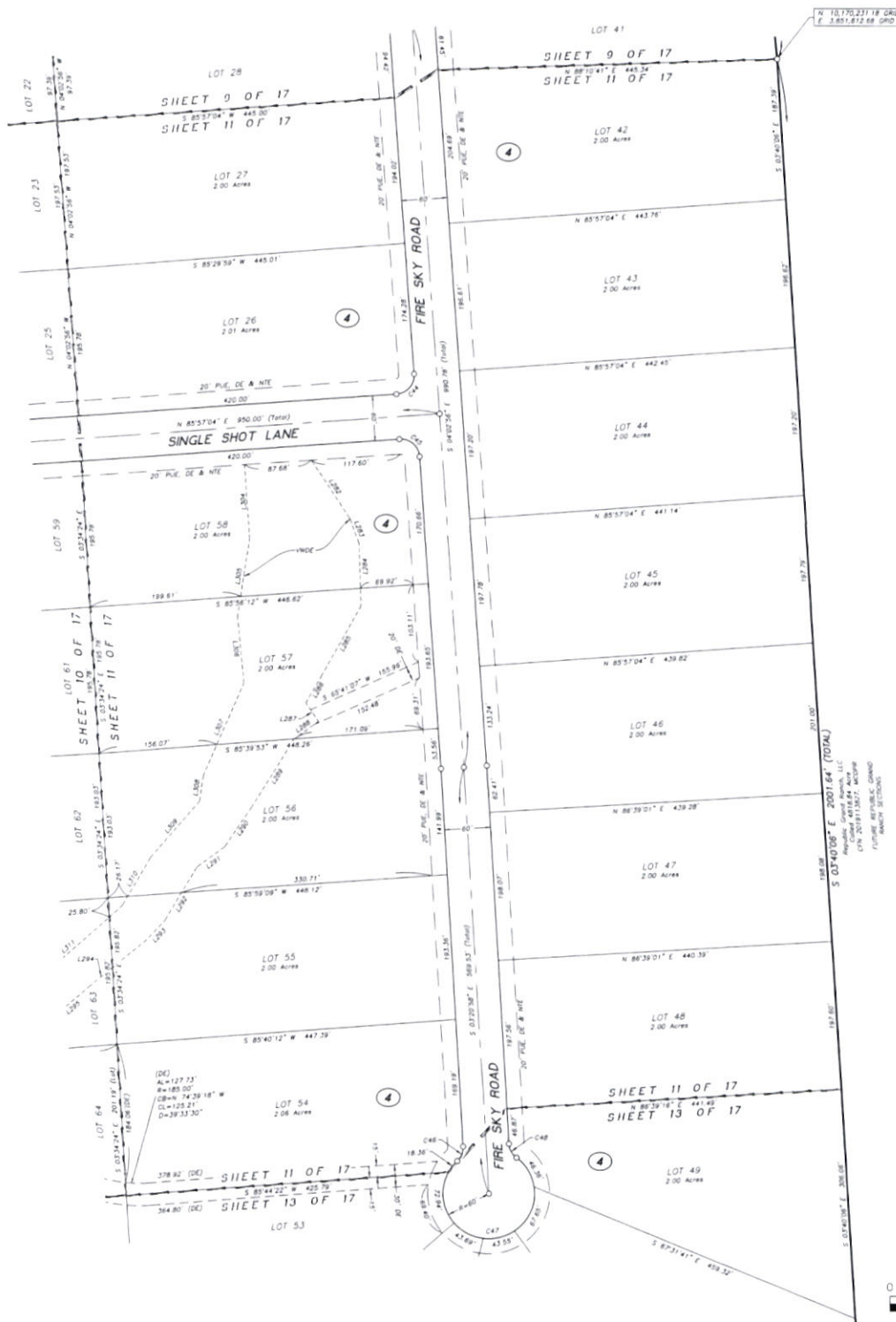
A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE NO. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

Norman, Inc.
P.O. Box 158, New Rivers, TX 77358
TEL: 936-661-5325

Job No. 20-007

SHEET 10 OF 17



DOC # 2020146985
Cabinet 002 Sheet 6899

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10154 S.H. 150,
New Market, TX 77358
808-713-1841
Renee Howell,
Authorized Agent
P.O. Box 261,
Shall Valley, AZ 86338
howellr@republicgrand.com

LEGEND

- Block Number
- CMF Found Concrete Monument, size and type as noted
- PKF Found Pipe Knot
- SME Found 5/8" Iron Rod
- SME Found 1/2" Iron Rod, with cap as noted unless otherwise noted
- SME Found 5/8" Iron Rod, with cap as noted
- SME Found 5/8" Iron Rod with 1-3/4" blue plastic cap, not
- MECHSEAL A. HANSEN RPLS 6553 UNLESS otherwise noted
- CPN Clerk's File Number
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCPR Montgomery County Plat Records
- VB Vegetative Buffer
- VNCE variable width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Blocks 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	VNCE Line Tables
9	Block 4		

PLAT OF REPUBLIC GRAND RANCH SECTION 1

CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

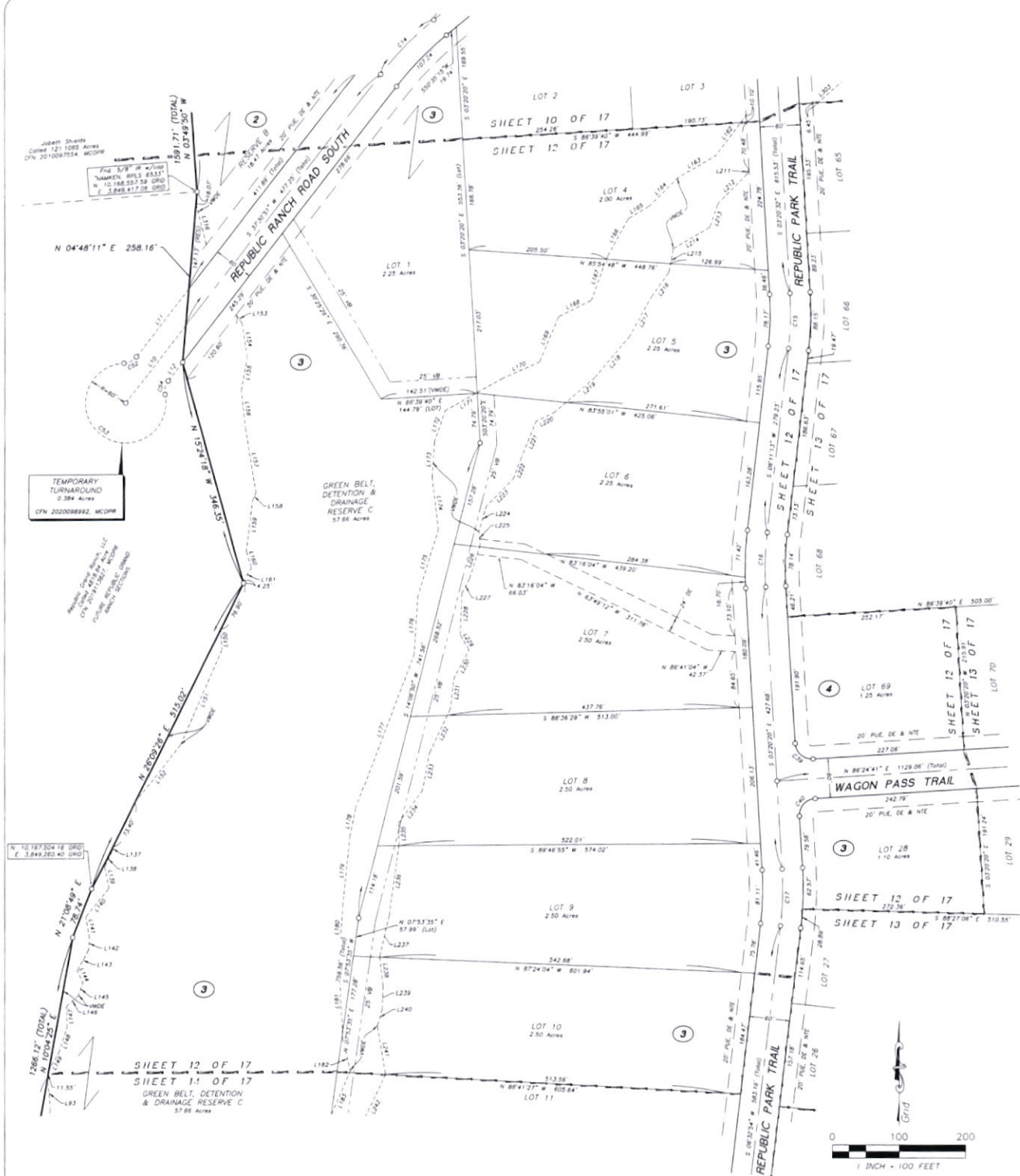
A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

NAMAH, Inc.
P.O. Box 158, New Market, TX 77358
T898.5 From Sta. (038400)
936-661-3325

Job No. 20-007

SHEET 11 OF 17



DOC # 2020146985
Cabinet 00Z Sheet 8900

PLAT OF

REPUBLIC GRAND RANCH
SECTION 1

CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TSPELS Firm No. 1094090
936-661-3325

Job No. 20-007

SHEET 12 OF 17

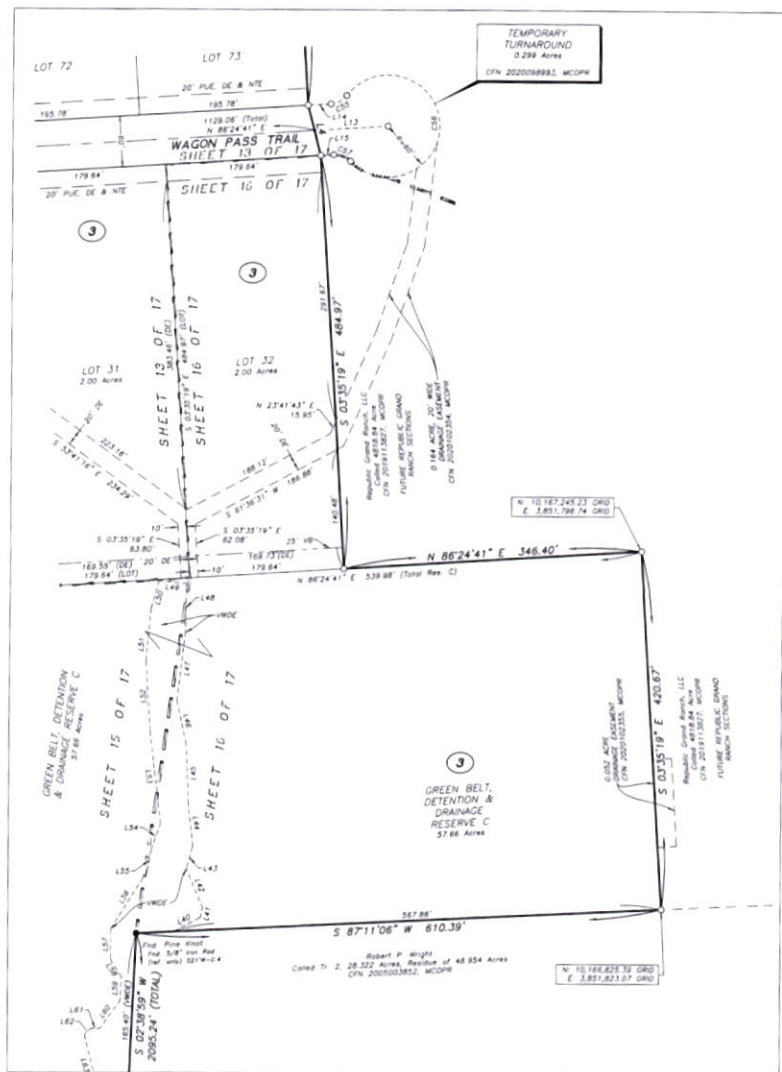
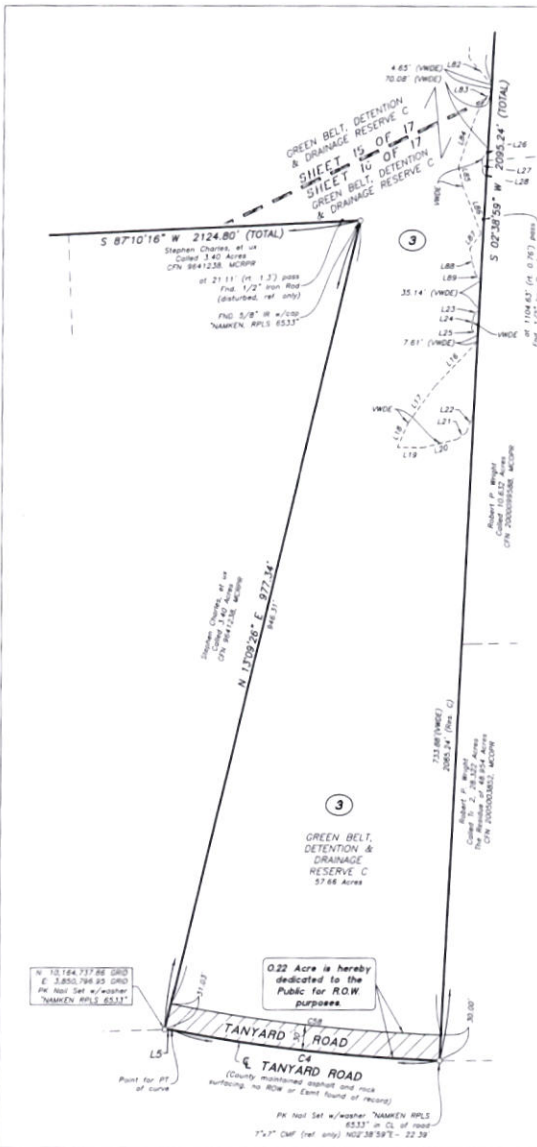
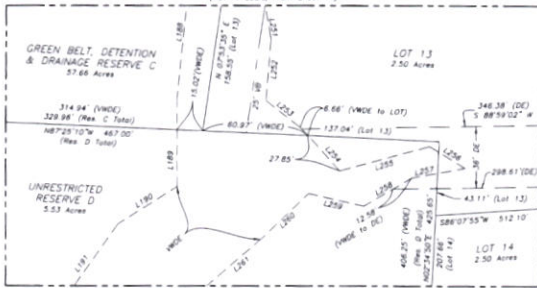
1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Blocks 3 and 4
4	Blocks 1, 2 and 4	13	Block 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	WIDE Line Tables
9	Block 4		

LEGEND

- | | |
|-----|---|
| ④ | Box Number |
| 1 | Found Complete Monument, size and type as noted |
| 2 | Found 5/8" Iron Rod |
| 3 | Found 1/2" Iron Rod with cap as noted, unless otherwise noted |
| 4 | Found 5/8" Iron Rod with cap as noted |
| 5 | Found 5/8" Iron Rod with 3/4" blue plastic cap mad |
| 6 | Other |
| 7 | Other |
| 8 | Other |
| 9 | Other |
| 10 | Other |
| 11 | Other |
| 12 | Other |
| 13 | Other |
| 14 | Other |
| 15 | Other |
| 16 | Other |
| 17 | Other |
| 18 | Other |
| 19 | Other |
| 20 | Other |
| 21 | Other |
| 22 | Other |
| 23 | Other |
| 24 | Other |
| 25 | Other |
| 26 | Other |
| 27 | Other |
| 28 | Other |
| 29 | Other |
| 30 | Other |
| 31 | Other |
| 32 | Other |
| 33 | Other |
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| 35 | Other |
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| 82 | Other |
| 83 | Other |
| 84 | Other |
| 85 | Other |
| 86 | Other |
| 87 | Other |
| 88 | Other |
| 89 | Other |
| 90 | Other |
| 91 | Other |
| 92 | Other |
| 93 | Other |
| 94 | Other |
| 95 | Other |
| 96 | Other |
| 97 | Other |
| 98 | Other |
| 99 | Other |
| 100 | Other |

DETAIL VIEW 'C'

(Not To Scale, From Sheet 14)



DOC # 2020146985
Cabinet 002 Sheet 6904

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10154 S.H. 150
New Mexico, TX 77358
929-713-1041
Reece Howell,
Authorized Agent
P.O. Box 261
Skull Valley, AZ 86338
howellconsulting@gmail.com

INDIVIDUAL SHEETS LIST

1	Vicinity Map and Sheet Number Layout	10	Block 2, 3 and 4
2	Certifications, Dedications and Notes	11	Block 4
3	Blocks 1 and 2	12	Block 3 and 4
4	Blocks 1, 2 and 4	13	Block 3 and 4
5	Blocks 1 and 4	14	Block 3
6	Blocks 1, 4 and 5	15	Block 3
7	Blocks 1 and 5, Line and Curve Tables	16	Block 3
8	Blocks 2 and 4	17	Block 3
9	Block 4		

LEGEND

- Block Number
- Found Concrete Monument, size and type as noted
- Found Pipe Post
- Found 5/8" Iron Rod
- Found 1/2" Iron Rod, with cap as noted, unless otherwise noted
- Found 5/8" Iron Rod, with cap as noted
- Found 5/8" Iron Rod with 1-1/4" blue plastic cap max.
- MEASURED, A. NAKHREN RPLS 6533; UNLESS otherwise noted
- Clark's File Number
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Vegetative Buffer
- Variable Width Private Drainage Easement

PLAT OF

REPUBLIC GRAND RANCH SECTION 1

CONTAINING 5 BLOCKS, 162 LOTS, 5 RESERVES

A SUBDIVISION CONTAINING 458.42 ACRES OF LAND,
OUT OF THE 4818.84 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE NO. 2019113827,
MONTGOMERY COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OCTOBER 2020

Norman, Inc.
P.O. Box 458, New Mexico, TX 77358
TPELS Form No. 0394090
936-661-3325

Job No. 20-007

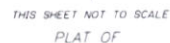
SHEET 16 OF 17

LINE	RA	DEC	DISTANCE
(456)	6:17:25	46:35	
(457)	6:17:25	46:35	
(458)	5:17:51	W 99.82	
(459)	5:17:51	W 13.61	
(460)	6:17:25	46:35	
(461)	5:17:51	W 99.82	
(462)	6:17:40.00	W 104.03	
(463)	6:42:28	46:35	
(464)	6:17:25	46:35	
(465)	5:15:15.5	W 100.19	
(466)	5:24:44.13	W 44.09	
(467)	6:17:25	46:35	
(468)	5:17:02	40:08	
(469)	5:16:09.54	W 41.45	
(470)	6:17:25	46:35	
(471)	5:17:25	46:35	
(472)	5:25:10.03	W 62.72	
(473)	6:55:32.94	W 57.38	
(474)	5:17:25	46:35	
(475)	5:22:16.28	W 55.73	
(476)	5:08:51.06	W 18.05	
(477)	5:28:37.91	W 14.15	
(478)	5:17:25	46:35	
(479)	5:12:06	W 18.54	
(480)	5:17:12	W 36.11	
(481)	5:17:25	46:35	
(482)	6:17:30	30.44	
(483)	6:50:54	W 32.66	
(484)	5:04:56	W 97.92	
(485)	5:17:25	46:35	
(486)	5:24:53	W 45.22	
(487)	5:17:45.5	W 102.40	
(488)	5:17:25	46:35	
(489)	5:17:25	46:35	
(490)	5:17:25	46:35	
(491)	5:17:25	46:35	
(492)	5:17:25	46:35	
(493)	5:17:25	46:35	
(494)	5:17:25	46:35	
(495)	5:17:25	46:35	
(496)	5:17:25	46:35	
(497)	5:17:25	46:35	
(498)	5:17:25	46:35	
(499)	5:17:25	46:35	
(500)	5:17:25	46:35	
(501)	5:17:25	46:35	
(502)	5:17:25	46:35	
(503)	5:17:25	46:35	
(504)	5:17:25	46:35	
(505)	5:17:25	46:35	
(506)	5:17:25	46:35	
(507)	5:17:25	46:35	
(508)	5:17:25	46:35	
(509)	5:17:25	46:35	
(510)	5:17:25	46:35	
(511)	5:17:25	46:35	
(512)	5:17:25	46:35	
(513)	5:17:25	46:35	
(514)	5:17:25	46:35	
(515)	5:17:25	46:35	
(516)	5:17:25	46:35	
(517)	5:17:25	46:35	
(518)	5:17:25	46:35	
(519)	5:17:25	46:35	
(520)	5:17:25	46:35	
(521)	5:17:25	46:35	
(522)	5:17:25	46:35	
(523)	5:17:25	46:35	
(524)	5:17:25	46:35	
(525)	5:17:25	46:35	
(526)	5:17:25	46:35	
(527)	5:17:25	46:35	
(528)	5:17:25	46:35	
(529)	5:17:25	46:35	
(530)	5:17:25	46:35	
(531)	5:17:25	46:35	
(532)	5:17:25	46:35	
(533)	5:17:25	46:35	
(534)	5:17:25	46:35	
(535)	5:17:25	46:35	
(536)	5:17:25	46:35	
(537)	5:17:25	46:35	
(538)	5:17:25	46:35	
(539)	5:17:25	46:35	
(540)	5:17:25	46:35	
(541)	5:17:25	46:35	
(542)	5:17:25	46:35	
(543)	5:17:25	46:35	
(544)	5:17:25	46:35	
(545)	5:17:25	46:35	
(546)	5:17:25	46:35	
(547)	5:17:25	46:35	
(548)	5:17:25	46:35	
(549)	5:17:25	46:35	
(550)	5:17:25	46:35	
(551)	5:17:25	46:35	
(552)	5:17:25	46:35	
(553)	5:17:25	46:35	
(554)	5:17:25	46:35	
(555)	5:17:25	46:35	
(556)	5:17:25	46:35	
(557)	5:17:25	46:35	
(			

P:\NSCI\Jobs\01 Survey\JOBS-20\20-007 RGR - SECTION 1\DWG\PLAT - S1\20-007 RGR SECT 1 PLAT.dwg, SHT 17, 11/30/2020 10:23:02 AM, AMH

REPUBLIC GRAND RANCH, LLC
Gary P. Sumner, Authorized Agent
1015A S.H. 150,
New Waverly, TX 77358
928-713-1841

DOC # 2021128959
Cabinet 002 Sheet 7717



CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 20-112

SHEET 1 OF 17

INDIVIDUAL SHEETS INDEX		
1	Sheet Number Layout	10 Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11 Block 1, 2, 3 and 4
3	Notes, Line and Curve Tables	12 Block 3 and 4
4	Blocks 1 and 2, Site Bench Mark Detail	13 Block 1 and 4
5	Blocks 1 and 2	14 Block 3 and 4
6	Blocks 1 and 2	15 Block 3 and 4
7	Blocks 1 and 2	16 Block 5
8	Blocks 1 and 2	17 Block 4
9	Block 2 and 3	

④ Block Number
 □ Found Round Concrete Monument, size and type as noted
 □ Found Round Concrete Monument, size and type as noted
 ● 5/8" Found 5/8" Iron Rod, with cap as noted
 Found 5/8" Iron Rod with 1-5/4" blue plastic cap noted
 MEDICAL, A NARRIN RPLS 6353. UNLESS OTHERWISE NOTED
 Found Zone AE
 Found Zone AE
 Core's File Number
 MCCR Montgomery County Deed Records
 MCCR Montgomery County Official Public Records
 MCCR Montgomery County Real Property Records
 MCCR Montgomery County Plat Records
 MAFEE Minimum Finished Floor Elevation
 PLE, DE & N/E Public Utility, Elevation, Drainage Easement & Nature Trail Easement
 VBE vegetation Buffer
 VBE Variable with Private Drainage Easement

OWNERS ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, Mr. Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 4, do hereby make subdivision of said property for and on behalf of said Republic Grand Ranch, LLC, according to the area, streets, lots, alleys, parks, building lines, and easements shown and designate said subdivision as REPUBLIC GRAND RANCH SECTION 4, located in the ALICE MARIA DE LA GARZA SURVEY, A-15, Montgomery County, Texas, and on behalf of said Republic Grand Ranch, LLC, and dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon forever; and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys depicted, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades, and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that I, Mr. Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 4, have complied or will comply with all regulations hereinafter on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

There is also dedicated for utilities an unobstructed easement five (5) feet wide from a plane twenty (20) feet above the ground upward, located adjacent to all easements shown hereon.

FURTHER, we, Republic Grand Ranch, LLC, as hereby dedicate forever to the public a strip of land, a minimum fifteen (15) feet wide on each side of the center line of any and all gullies, ravines, ditches, sloughs, or other natural drainage courses located in the said subdivision, as easements for drainage purposes, going Montgomery County and/or any other public agency the right to enter upon said easements at any and all times for the purpose of constructing and/or maintaining drainage work and/or structures.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, of the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows: 1. That drainage of runoff waters into road, street, alley, or other public places, either directly or indirectly, is strictly prohibited. 2. Drainage structures under private driveways shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

FURTHER, we do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of residential dwelling units thereon (or the placement of mobile home subdivisions) and shall be restricted for same under the terms and conditions of such restrictions filed separately, unless otherwise noted.

IN TESTIMONY WHEREOF, Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC has caused these presents to be signed by Gary P. Sumner, Authorized Agent, thereunto authorized, and it is common seal hereunto affixed.

the 25 day of August, 2021

Patten Companies, LLC as the manager for Republic Grand Ranch, LLC

Gary P. Sumner
By Gary P. Sumner, Authorized Agent

OWNERS ACKNOWLEDGEMENT FOR CORPORATIONS

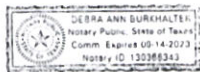
STATE OF TEXAS
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared Gary P. Sumner, Authorized Agent for Republic Grand Ranch, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,

Dated this 25 day of August,
2021 by Gary P. Sumner

Debra Ann Burkhardt
Notary Public for State of Texas



LIENHOLDERS ACKNOWLEDGEMENT & SUBORDINATION STATEMENT

STATE OF NORTH CAROLINA
COUNTY OF NEW HANOVER

I (or we), SHP Republic Grand Ranch, LLC, owner and holder of a lien against the property, said lien being evidenced by instrument of record under OTHS 2019113827, 2019113828 and 2019113830, Official Public Records of Montgomery County, Texas, do hereby in all things subordinate to said plat said lien, and I (or we) hereby confirm that I am (or we are) the present owner (or owners) of said lien and have not assigned the same nor any part thereof.

[Signature]
By SHP REPUBLIC GRAND RANCH, LLC

NOTARY PUBLIC ACKNOWLEDGEMENT

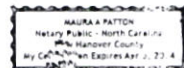
STATE OF NORTH CAROLINA
COUNTY OF NEW HANOVER

BEFORE ME, the undersigned authority, on this day personally appeared SHP REPUBLIC GRAND RANCH, LLC, herein Michael Brinham known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE,

Dated this August 24th day of August, 2021

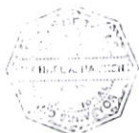
Maura A. Patten
Notary Public for State of North Carolina



CERTIFICATION BY THE SURVEYOR

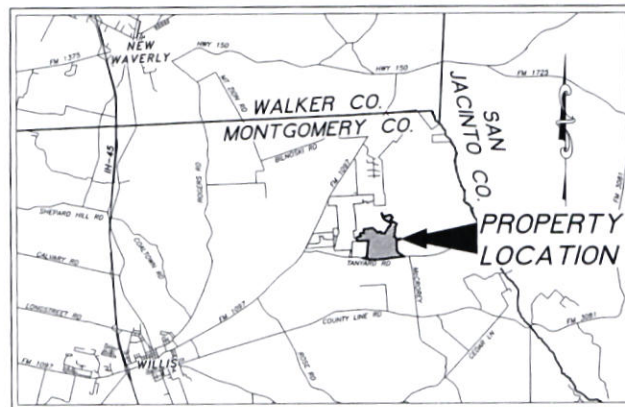
I, Michael A. Hanken, am authorized (or registered) under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct, was prepared from an actual survey of the property made under my supervision on the ground, that the elevation benchmarks reflected on the face of the plat was established as required by regulations, that all corners and angle points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods have a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3') and that the plat boundary corners have been tied to the nearest survey corner.

Michael A. Hanken
Michael A. Hanken
Registered Professional Land Surveyor No. 6533



OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
Gary P. Sumner, Authorized Agent
10154 S.H. 150
New Haven, TX 77358
936-661-1841



VICINITY MAP
Not To Scale

COUNTY ENGINEER'S ACKNOWLEDGEMENT

I, Jeff Johnson, P.E., County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners Court.

I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by Commissioners Court; however, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area or subdivision within the watershed.

[Signature]
Jeff Johnson, County Engineer

APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Montgomery County, Texas has approved the Plat of REPUBLIC GRAND RANCH, SECTION 4.

DATED this 14 day of September, 2021

[Signature]
Robert C. Walker
Commissioner, Precinct 1

[Signature]
James [unclear]
Commissioner, Precinct 3

[Signature]
Mark Keaggh
County Judge

[Signature]
Charles [unclear]
Commissioner, Precinct 2

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, Mark Turnbull, County Clerk of Montgomery County, Texas, do hereby certify that the within instrument with it's certificate of authentication was filed for registration in my office on

September 14, 2021
at 9:30 o'clock, A M., and duly recorded on
September 14, 2021
at 3:01 o'clock, P M., in Cabinet 2 sheet 7717
of record of maps for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date above written.

[Signature]
Mark Turnbull, Clerk, County Court,
Montgomery County, Texas



PLAT OF
**REPUBLIC GRAND RANCH
SECTION 4**
CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JUNE 2021

Nanken, Inc.
P.O. Box #58, New Haven, TX 77358
TWP&S Firm No. 10940090
936-661-3325

DOC # 2021128959
Cabinet 002 Sheet 7718

Job No. 20-112

SHEET 2 OF 17

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner, Authorized Agent
 10154 S.W. 155
 New Smyrna Beach, FL 32158
 321-713-1841

REPUBLIC GRAND RANCH SECTION 4 LINE & CURVE TABLES

BOUNDARY AND R.O.W. CURVE TABLE

VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT LINE TABLES

GENERAL NOTES

- The purpose of this plat is to create REPUBLIC GRAND RANCH SECTION 4, being out of the residue of a 400-acre estate owned and controlled under Clerk's File Number 2019113827 MCOPR, and to dedicate the following:
 - the entire (50) foot right-of-way easement (RUE);
 - the adjacent twenty (20) foot Public Utility Easements (PUE);
 - the twenty (20) foot drainage easement;
 - the twenty (20) foot Private Drainage Easement;
 - the Variable Width Private Drainage Easements and Drainage Easements not adjacent to the road right-of-way as shown herein, to the public.
- Boundaries, Distances, Coordinates, Elevations and Areaages herein are referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83 (2011), and 88 (2008) and based upon A.C.S. 0105.
- Based on the geologic location of the variable (50) foot from the Federal Emergency Management Agency (FEMA) Flood Map Service Center (<http://msc.fema.gov/portals/flash>) superimposed upon the subject tract and based on the FEMA Flood Insurance Rate Map, Revised 18 August 2014, Montgomery County #480483, Map No. 4833020500, Panel 0200C, this property is located within:
 - Flood Hazard Zone "A" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain).
 - Flood Hazard Zone "AE" (areas determined to be subject to the inundation by the 1% annual chance flood with base flood elevation determined).
 - Flood Hazard Zone "V" (areas determined to be the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachments).

The Base Flood Elevation (BFE) shown herein are based on a rated approximation of the georeferenced FEMA Flood Insurance Rate Map No. 4833020500.

This statement does not imply that any portion of the subject tract is free of potential flood hazard. Flood hazard can occur due to natural and/or man-made influences. This flood statement shall create no liability on the part of the Surveyor, No. or the undersigned.

- Areaages quantities shown on this survey are based upon the mathematical closure of the boundary courses and distances. Said quantities do not indicate the positions of monuments.
- Original boundary lines of this subdivision which are common with the original survey boundaries are monumented on the ground with iron rods or other stable material monuments shown hereon as found or as continuing monuments, unless noted as reference only. Please review the record instruments cited herein to compare the surveyed bearings and distances with the record data.

The Owner(s) hereby certify that prior to completion of this subdivision section and where physically possible all lot corners, angle points and points of curvature of the lots located within the subdivision will be monumented on the ground with 5/8" iron rods with 1-3/4" diameter blue plastic caps marked "NCEM&E, A. SUMNER RPLS 65337, UNLESS otherwise noted and with the exception that they are NOT set in the centerline of roadway nor of roadway intersections and points of curvature, as the symbols herein may represent.

- All driveways in the subdivision shall be constructed of concrete or asphalt of center's expense and shall be completed within twelve (12) months from the setting of forms for the foundation of said dwelling or structure. Further, the driveway or entrance to each lot from the pavement of the street shall be paved with concrete or asphalt.

REPUBLIC GRAND RANCH SECTION 4 is subject to the most current Reservations and Restrictions for Republic Grand Ranch, a copy of which can be found in the public record of Montgomery County, Texas. All lot setbacks shall be in accordance with said recorded reservations, conditions, and restrictions for REPUBLIC GRAND RANCH SECTION 4.

- 100' Front Building Line along road right-of-way for all lots 2.00 Acres and greater.
- 75' Front Building Line along road right-of-way for all lots 1.00 Acres and less.
- 25' Building Line along the rear lot lines of all lots.
- 20' Building Line along the side lot lines of all lots.

There is a twenty-five (25) foot vegetative Buffer at the rear of the lots that adjoin private property and other areas as shown herein within the twenty-five (25) foot vegetative Buffer, no improvements shall be made and cutting of all natural vegetation is prohibited. See the Covenants, Conditions and Restrictions for REPUBLIC GRAND RANCH SECTION 4, which will be recorded in Public Record after the acceptance and recording of this plat for more details on the vegetative Buffer.

- All Lots shown herein will be subject to Covenants, Conditions and Restrictions for REPUBLIC GRAND RANCH SECTION 4, which will be recorded in Public Record after the acceptance and recording of this Final Plat of REPUBLIC GRAND RANCH SECTION 4.
- The site Bench Mark is shown on Sheet 4 of 17. See the Datum information listed in Note 2 above.

SANITARY SEWER SERVICE

Each lot will be required to utilize onsite sanitary sewer facilities (OSSF) for sanitary sewer service in accordance with state and local codes and regulations. The Lot Owner is not prohibited from connecting to a public sanitary sewer collection system if service becomes available at some time in the future.

DRAINAGE AND IMPROVEMENT COVER

Finished floor elevations shall be a minimum of twelve (12) inches above finished adjacent grade.

The landowner is prohibited from constructing any improvements within any "Variable Width Private Drainage Easement" (VWDE) on this plat and Landowner may clear underbrush and establish fast trees within these "Variable Width Private Drainage Easements" but no vertical improvement development is allowed, except for drainage, culverts, and/or drainage improvements necessary for access to the lots. Fencing is allowed along the property lines located within these "Variable Width Private Drainage Easements" but with provisions not to impede the flow of storm water within the "Variable Width Private Drainage Easements".

- "Variable Width Private Drainage Easements" (VWDE) shall be maintained by Lot Owner(s) and/or Home Owners Association and shall not be maintained by Montgomery County.

The natural drainage channels (whether or not they are in a delineated "DE" or "VWDE") that are located within various lots and undisturbed easement areas throughout this subdivision may not be altered in any way. Landowner may clear underbrush and establish fast trees within these natural drainage channels but no vertical improvement/development shall be allowed within the bounds of these natural drainage channels. Fencing is allowed along the property lines located within these natural drainage channels with provisions not to impede the flow of storm water within the drainage channels.

- Lots, reserve and undisturbed reserve areas within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place or proposed at the time of development which are a part of or necessary to the public roads infrastructure or public system of drainage in order to all natural drainage water entering onto or crossing the property. Local approval or consent must be given by the Montgomery County Engineer prior to any proposed change to the drainage infrastructure herein described. It is the responsibility of the lot owner to the Montgomery County Engineer for development do not act as a barrier or variance of the lot owner's responsibility to provide for access runoff and drainage created by the permitted development.

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BOUNDARY AND R.O.W. LINE TABLE

LINE BEARING	DISTANCE	LINE BEARING	DISTANCE
L1 N 48°10'41" E	65.38	L11 N 88°42'58" E	149.25
L2 S 26°17'05" W	68.42	L12 S 26°17'05" W	68.42
L3 S 26°17'05" W	68.42	L13 S 26°17'05" W	68.42
L4 N 0°44'41" E	25.07	L14 N 0°44'41" E	25.07
L5 N 76°30'17" E	60.00	L15 N 76°30'17" E	60.00
L6 N 0°43'17" W	50.00	L16 N 0°43'17" W	50.00
L7 S 0°17'17" E	50.00	L17 S 0°17'17" E	50.00
L8 N 73°59'31" E	50.00	L18 N 73°59'31" E	50.00
L9 S 0°00'00" W	16.71	L19 S 0°00'00" W	16.71
L10 N 51°06'23" E	66.05	L20 N 51°06'23" E	66.05
L11 S 0°00'00" W	73.88	L21 S 0°00'00" W	73.88
L12 S 86°44'41" W	51.95	L22 S 86°44'41" W	51.95
L13 S 57°42'58" W	150.72	L23 S 57°42'58" W	150.72
L14 S 85°00'00" W	21.13	L24 S 85°00'00" W	21.13
L15 N 85°49'41" E	25.14	L25 N 85°49'41" E	25.14
L16 N 89°17'29" E	18.50	L26 N 89°17'29" E	18.50

DRAINAGE EASEMENT LINE TABLES

LINE BEARING	DISTANCE	LINE BEARING	DISTANCE
L1 N 48°10'41" E	65.38	L11 N 88°42'58" E	149.25
L2 S 26°17'05" W	68.42	L12 S 26°17'05" W	68.42
L3 S 26°17'05" W	68.42	L13 S 26°17'05" W	68.42
L4 N 0°44'41" E	25.07	L14 N 0°44'41" E	25.07
L5 N 76°30'17" E	60.00	L15 N 76°30'17" E	60.00
L6 N 0°43'17" W	50.00	L16 N 0°43'17" W	50.00
L7 S 0°17'17" E	50.00	L17 S 0°17'17" E	50.00
L8 N 73°59'31" E	50.00	L18 N 73°59'31" E	50.00
L9 S 0°00'00" W	16.71	L19 S 0°00'00" W	16.71
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L15 N 85°49'41" E	25.14	L25 N 85°49'41" E	25.14
L16 N 89°17'29" E	18.50	L26 N 89°17'29" E	18.50

PLAT OF

REPUBLIC GRAND RANCH SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
 P.O. Box 158, New Smyrna Beach, FL 32158
 (407) 321-1111
 321-661-3325

Job No. 20-112

SHEET 3 OF 17

LEGEND

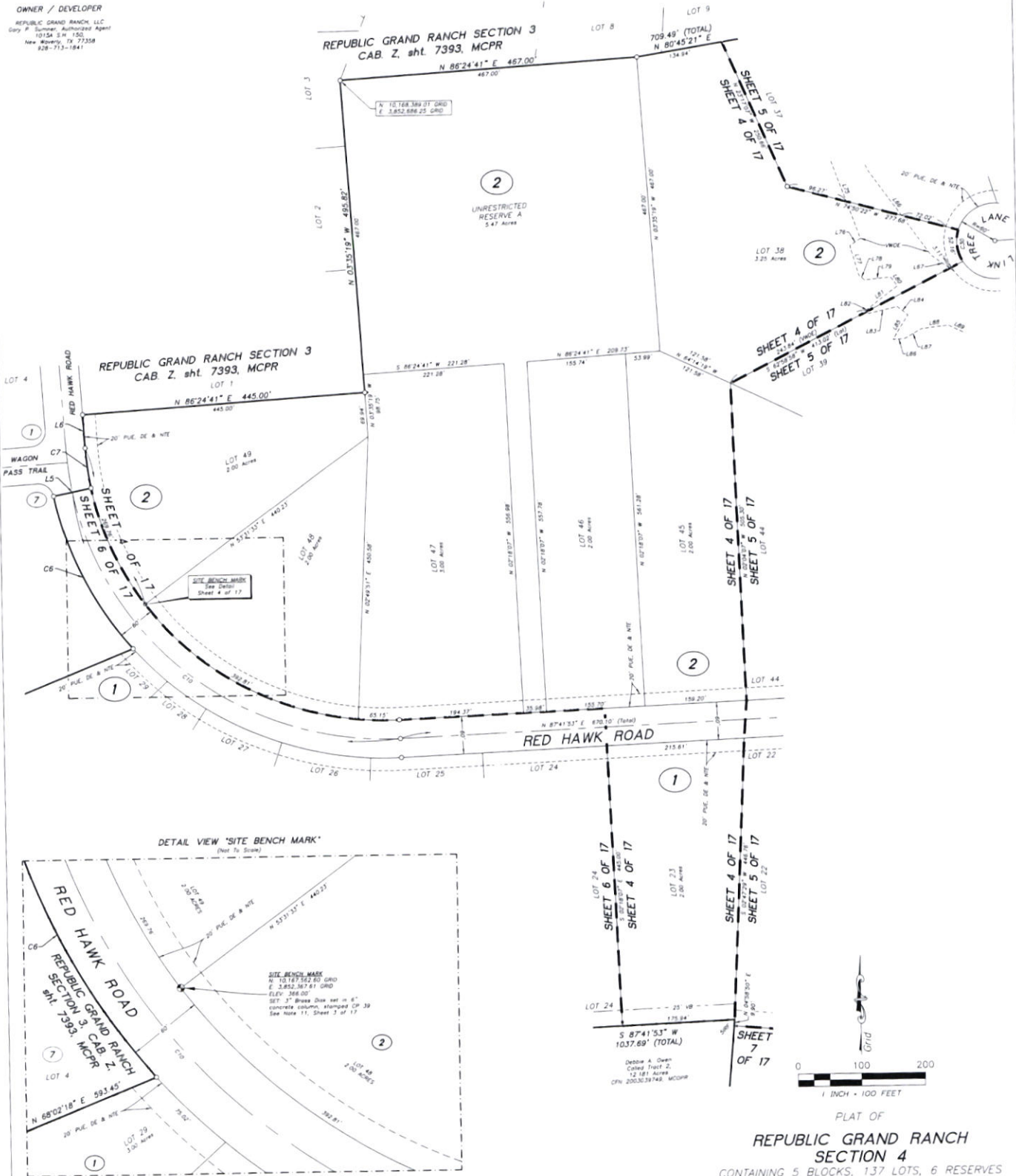
- Block Number
- Found Round Concrete Monument, size and type as noted
- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod with cap as noted
- NCEM&E, A. SUMNER RPLS 65337, UNLESS otherwise noted
- Plat Area in Zone AE
- Plat Zone AE
- Clerk's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Plat Records
- Montgomery County Plat Records
- Montgomery County Plat Records
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- Vegetative Buffer
- Variable Width Private Drainage Easement

DOC # 2021128959
 Cabinet 002 Sheet 7719

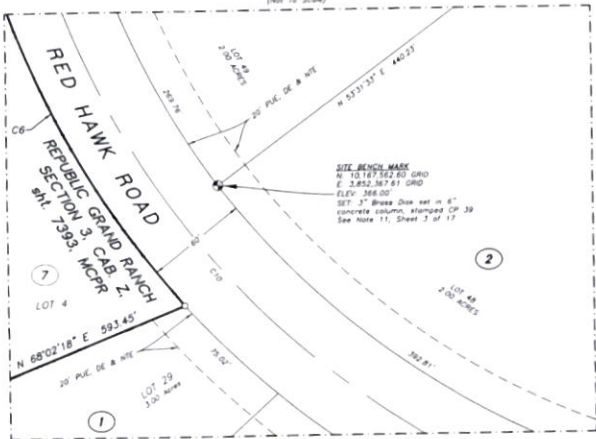
INDIVIDUAL SHEETS INDEX

Sheet Number	Layout	Block 2 and 3
1	Certifications, Dedications, Notes, Vicinity Map	11 Block 1, 2, 3 and 4
2	Notes, Line and Curve Tables	12 Block 3 and 4
3	Blocks 1 and 2, Site Bench Mark Detail	13 Block 3 and 4
4	Block 1	14 Block 3 and 4
5	Block 1	15 Block 3 and 4
6	Block 1 and 2	16 Block 4
7	Block 1 and 2	17 Block 4
8	Block 2 and 3	

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner, Authorized Agent
 1015A S.W. 150
 New Haven, TX 77358
 936-713-1841



DETAIL VIEW "SITE BENCH MARK"
 (Not To Scale)



LEGEND

- Block Number
- Found Round Concrete Monument, size and type as noted
- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod, with cap as noted
- Found 5/8" Iron Rod with 1-1/4" black plastic cap and "NICHOL" & "MONTGOMERY" 60335, UNLESS otherwise noted
- Flowway Area in Zone AE
- Flow Zone AE
- Clerk's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Minimum Finished Floor Elevation
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- Vegetative Buffer
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DOC # 2021128959
 Cabinet 002 Sheet 7720

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	10	Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11	Block 1, 2, 3 and 4
3	Notes, Line and Curve Tables	12	Blocks 3 and 4
4	Blocks 1 and 2, Site Bench Mark Detail	13	Blocks 3 and 4
5	Blocks 1 and 2	14	Block 3 and 4
6	Block 1	15	Block 3 and 4
7	Blocks 1 and 2	16	Block 5
8	Blocks 1 and 2	17	Block 4
9	Block 2 and 3		

1 INCH = 100 FEET

PLAT OF
 REPUBLIC GRAND RANCH
 SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
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 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
 P.O. Box 458, New Haven, TX 77358
 TBPES Form No. 0384090
 936-661-3525

Job No. 20-112

SHEET 4 OF 17

REPUBLIC GRAND RANCH SECTION 3
CAB. Z. sht. 7393, MCPR



REPUBLIC GRAND RANCH
SECTION 4

SECTION 4
CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

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MONTGOMERY COUNTY, TEXAS

Nomken, Inc.
P.O. Box 158, New Waverly, Tx 77358
TSPELS Firm No. 10194090
936-661-3325

Job No. 20-112

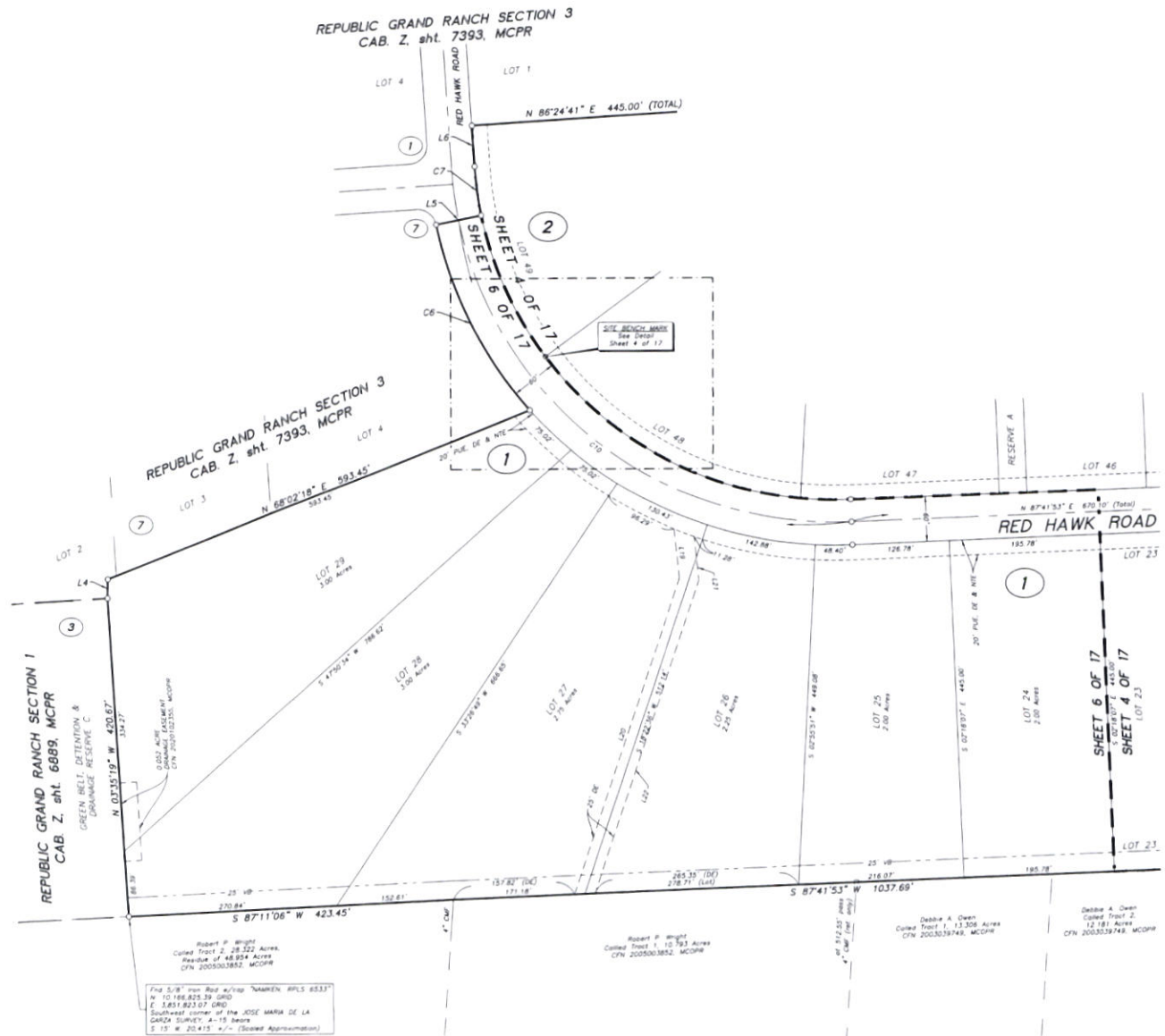
SHEET 5 OF 17

INDIVIDUAL SHEETS INDEX		
1	Sheet Number Layout	10 Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11 Block 1, 2, 3 and 4
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7	Blocks 1 and 3	16 Block 5
8	Blocks 1 and 2	17 Block 4
9	Blocks 1 and 1	

VIB

Block Number
Found Round Concrete Monument, size and type is noted
Found Square Concrete Monument, size and type is noted
Found Round Concrete Monument with cap is noted
Found/Not Found 5/8" from R/W with 1-3/4" blue plastic cap red
MICHAEL & NANNEN RPL 6533? UNLESS otherwise noted
Highway Area in Zone AE
Found Zone AE
Clark's File Number
Montgomery County Deed Records
Montgomery County Official Public Records
Montgomery County Real Property Records
Montgomery County Plat Records
Admission Franchise Paper (Election)
Public Utility Easement, Drainage Easement & Nature Trail Easement
Vegetative Buffer
Variable Width Private Drainage Easement

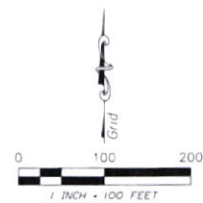
OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner, Authorized Agent
 10154 S.W. 150,
 New Miami, TX 77358
 281-713-1841



LEGEND

- Block Number
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- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod with cap as noted
- Found 5/8" Iron Rod with 1/4" blue plastic cap and
- MECHANICAL, A. NARRICH, RPLS 6533; UNLESS otherwise noted
- Flowing Area in Zone AE
- Flow Zone AE
- Clark's Fire Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Minimum Finished Floor Elevation
- Public Utility Easement, Drainage Easement & Nature Trail Easement
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8	Blocks 1 and 2	17	Block 4
9	Block 2 and 3		



PLAT OF REPUBLIC GRAND RANCH SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

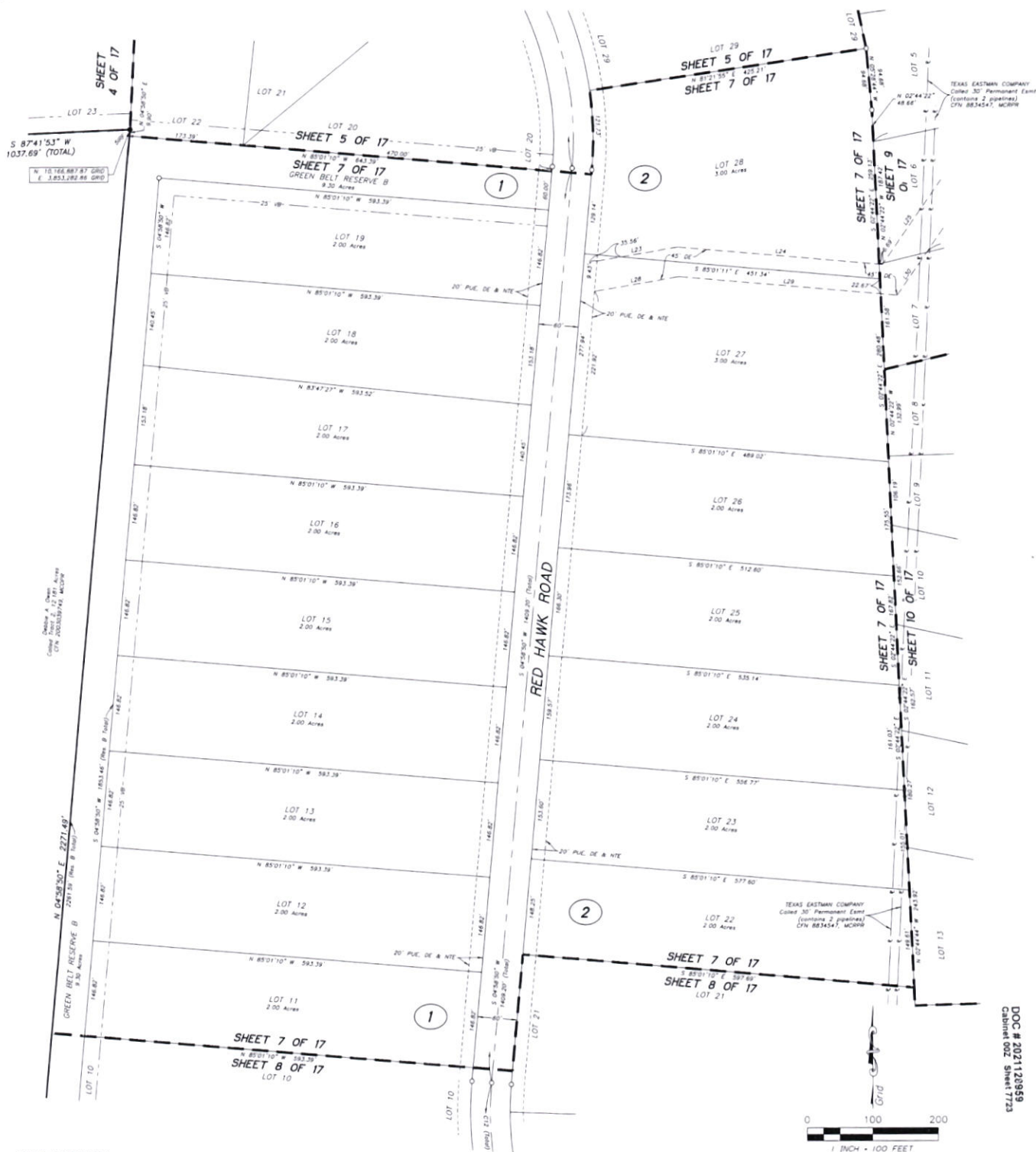
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 MONTGOMERY COUNTY, TEXAS

JUNE 2021

NORTH, INC.
 P.O. Box 108, New Miami, TX 77358
 TSP/EI Firm No. 10340360
 936-661-3525

Job No. 20-112

SHEET 6 OF 17



OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary A. Sullivan, Authorized Agent
 10194 S.H. 150
 New Mexico, TX 77358
 281-713-1841

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- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod with cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap as noted
- MICHAEL A. NAMKEN RPLD 65337, LASESS otherwise noted
- Feasible Areas in Zone AE
- Feasible Zone AE
- Clark's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VB Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX			
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5	Blocks 1 and 2	14	Block 3 and 4
6	Block 1	15	Block 3 and 4
7	Blocks 1 and 2	16	Block 3
8	Blocks 1 and 2	17	Block 4
9	Block 2 and 3		

PLAT OF REPUBLIC GRAND RANCH SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
 P.O. Box 158 New Mexico, TX 77358
 780 S.E. 10th St. Suite 100
 936-661-3325

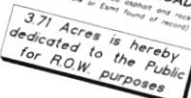
Job No. 20-112

SHEET 7 OF 17

Caroline A. Owen
 Colloid Fract 2, 12 181 Acres
 CFN 2003039749, second



3.71 Acres is hereby
dedicated to the Public
for R.O.W. purposes



PLAT OF
C GRAND RANCH
SECTION 4

JUNE 2021

Job No. 20-112

SHEET 8 OF 17

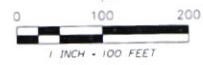
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OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
Gary P. Summer, Authorized Agent
10134 S.W. 1505
New Albany, TX 77358
936-713-1841

LEGEND

- Block Number
- Found Round Concrete Monument, size and type as noted
- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod with cap as noted
- Found 1/2" Iron Rod with 1-3/4" blue plastic cap and
- NICHOLAS A. HARRIS, S.W.L.S. 0537, UNLESS otherwise noted
- Flowage Area in Zone AE
- Flow Zone AE
- Clerk's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Minimum Finished Floor Elevation
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- Vegetative Buffer
- Variable Width Private Drainage Easement

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9	Block 2 and 3		



PLAT OF REPUBLIC GRAND RANCH SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JUNE 2021

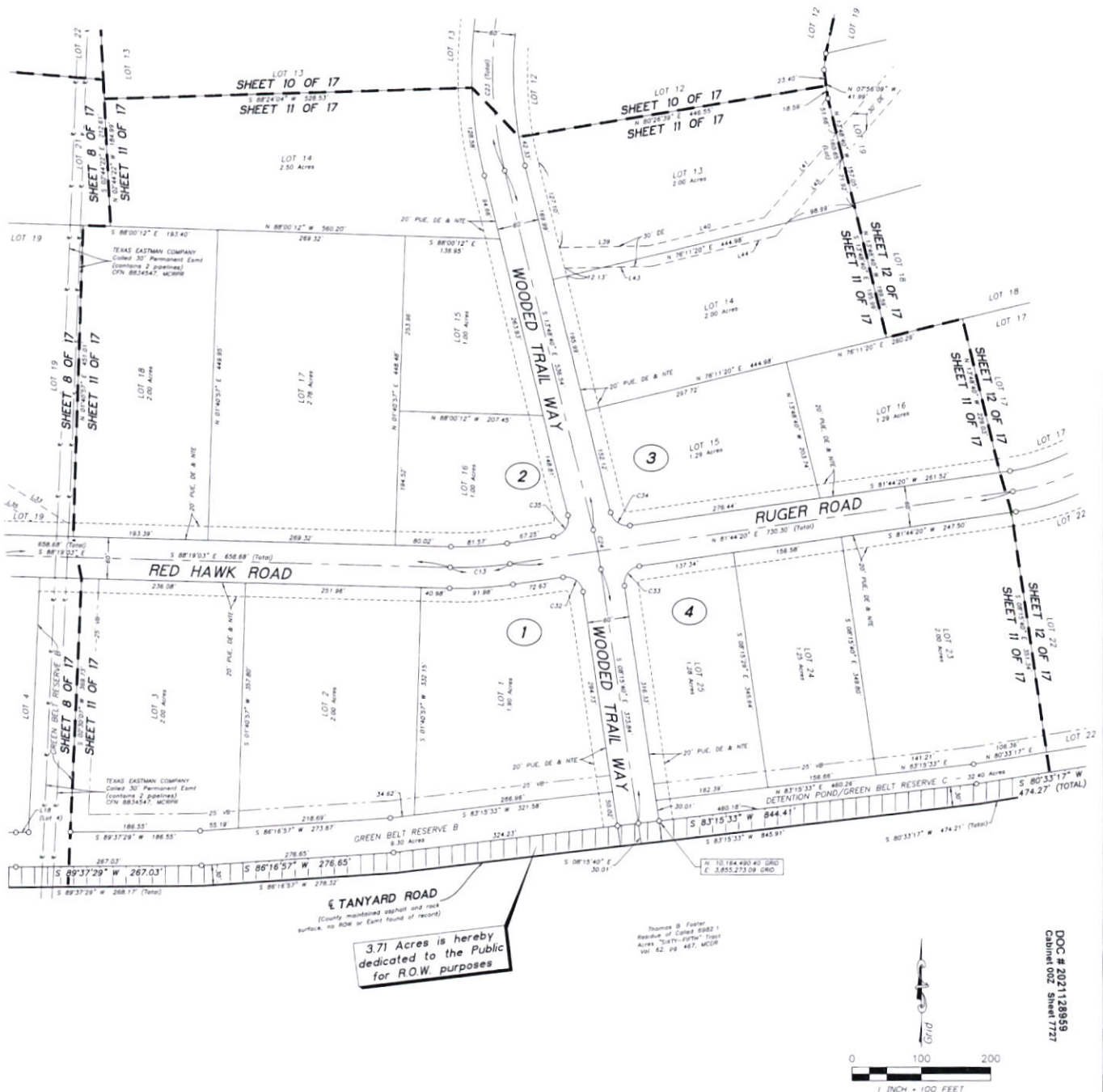
Wankner, Inc.
P.O. Box 1058, New Albany, TX 77358
TWELVE FIVE SIX, 0394080
936-661-3325

Job No. 20-112

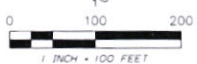
SHEET 10 OF 17

DOC # 2021128959
CADDIN 002, Sheet 7/28

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner, Authorized Agent
 10154 S. 4th 150th
 New Haven, TX 77358
 928-713-1841



DOC # 2021128959
 Cabinet 002 Sheet 7/27



PLAT OF
REPUBLIC GRAND RANCH
SECTION 4
 CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
 P.O. Box 1158 New Haven, TX 77358
 TPLS Form No. 10940000
 936-661-3325

Job No. 20-112

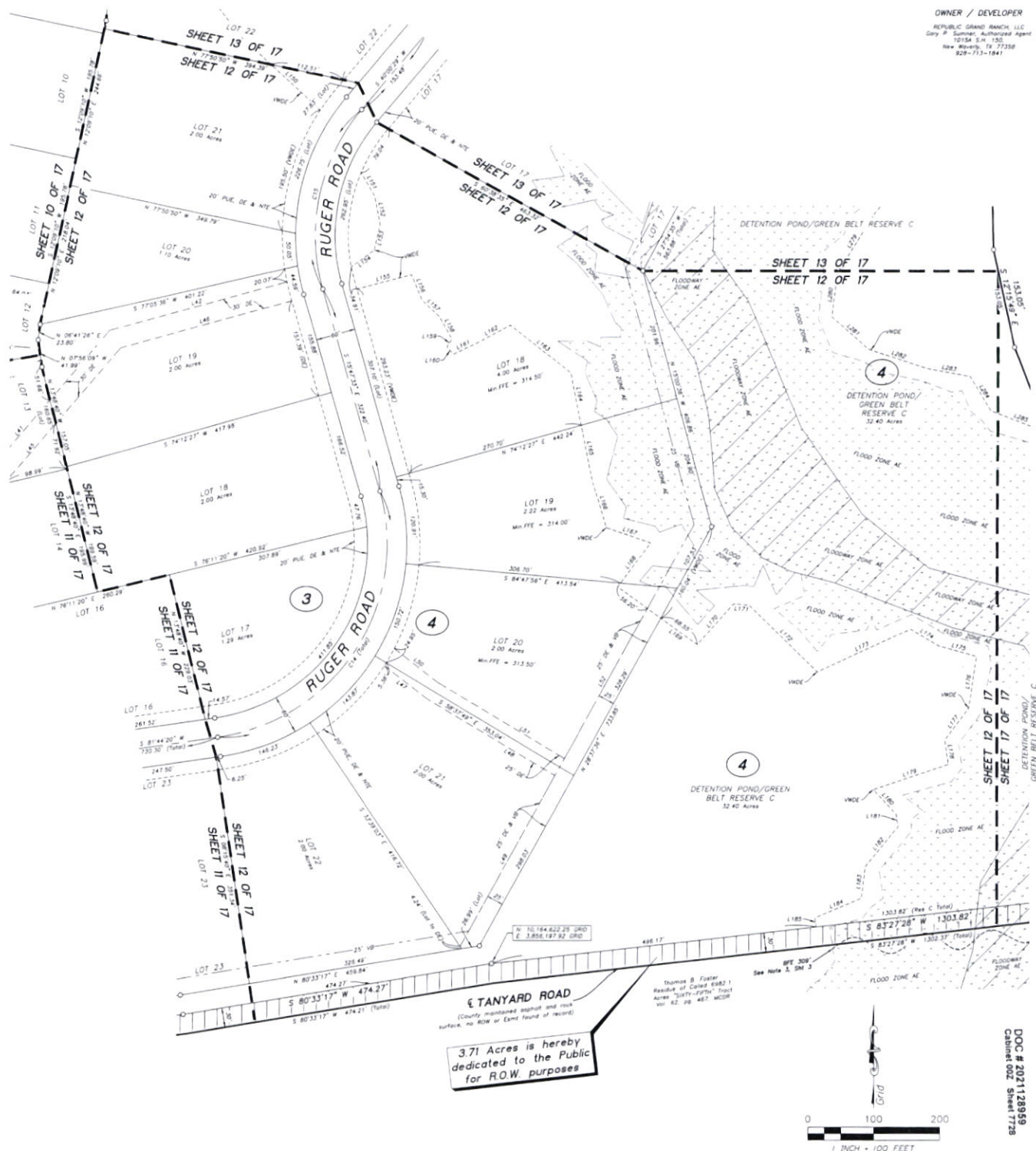
SHEET 11 OF 17

LEGEND

- ① Block Number
- ⊙ CMF Found Round Concrete Monument, size and type as noted
- ⊠ CMF Found Square Concrete Monument, size and type as noted
- ⊙ CMF Found 5" Iron Rod, with cap as noted
- ⊙ CMF Found 1/2" Iron Rod with 1/2" x 1/2" blue plastic cap, note
- ⊙ CMF MICHAEL A. NAMKEN RPLS 6533, UNLESS OTHERWISE NOTED
- ⊙ CMF Flagway Area in Zone AE
- ⊙ CMF Flag Zone AE
- ⊙ CMF Clerk's File Number
- ⊙ CMF MCDR Montgomery County Deed Records
- ⊙ CMF MCDPR Montgomery County Official Public Records
- ⊙ CMF MCDPR Montgomery County Real Property Records
- ⊙ CMF MCDPR Montgomery County Plat Records
- ⊙ CMF MAFPE Minimum Finished Floor Elevation
- ⊙ CMF PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- ⊙ CMF VMB Vegetative Buffer
- ⊙ CMF VMBE Variable Width Private Drainage Easement

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DOC # 2021128959
Cabinet 00Z Sheet 7728

PLAT OF
REPUBLIC GRAND RANCH
SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 20-112

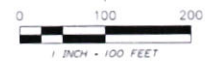
SHEET 12 OF 17

INDIVIDUAL SHEETS INDEX			
1	Sheet Number Layout	10	Block 2 and 3
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7	Blocks 1 and 2	16	Block 5
8	Blocks 1 and 2	17	Block 4
9	Block 2 and 3		

LEGEND

	Block Number
	Found Round Concrete Monument; size and type as noted
	Found Square Concrete Monument; size and type as noted
	Found S/S" Iron Rod, with cap as noted
	Found S/S" Iron Rod w/ 1-1/2" Blue plastic cap mark
	NICHOLS A. HAMMOND ROAD 65337, CALIF 95866 otherwise noted
	Flashed Area in Zone AE
	Flood Zone AE
C/F#	Client's File Number
MCDR	Montgomery County Dept Records
MCCR	Montgomery County Criminal Justice Records
MCRW	Montgomery County Real Property Records
MCFR	Montgomery County Fire Records
MNFFE	Minimum Finished Floor Elevation
PLE, DE & NTE	Public Utility Easement, Drainage Easement & Nature Trail Easement
VIR	Vegetation
WAE	Water Utility Private Drainage Easement

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner
 Authorized Agent
 10134 S.H. 150
 New Albany, IN 47150
 828-713-1841



PLAT OF
REPUBLIC GRAND RANCH
SECTION 4

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
 P.O. Box 558 New Albany, IN 47150
 (PREPARED BY) 936-661-3325

Job No. 20-112

SHEET 13 OF 17

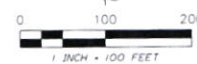
LEGEND

- ④ Block Number
- Found Round Concrete Monument, size and type as noted
- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod with cap as noted
- Found 1/2" Iron Rod with 1/2" cap as noted
- Found 1/4" Iron Rod with 1/4" cap as noted
- Found 1/8" Iron Rod with 1/8" cap as noted
- Found 1/16" Iron Rod with 1/16" cap as noted
- Found 1/32" Iron Rod with 1/32" cap as noted
- Found 1/64" Iron Rod with 1/64" cap as noted
- Found 1/128" Iron Rod with 1/128" cap as noted
- Found 1/256" Iron Rod with 1/256" cap as noted
- Found 1/512" Iron Rod with 1/512" cap as noted
- Found 1/1024" Iron Rod with 1/1024" cap as noted
- Found 1/2048" Iron Rod with 1/2048" cap as noted
- Found 1/4096" Iron Rod with 1/4096" cap as noted
- Found 1/8192" Iron Rod with 1/8192" cap as noted
- Found 1/16384" Iron Rod with 1/16384" cap as noted
- Found 1/32768" Iron Rod with 1/32768" cap as noted
- Found 1/65536" Iron Rod with 1/65536" cap as noted
- Found 1/131072" Iron Rod with 1/131072" cap as noted
- Found 1/262144" Iron Rod with 1/262144" cap as noted
- Found 1/524288" Iron Rod with 1/524288" cap as noted
- Found 1/1048576" Iron Rod with 1/1048576" cap as noted
- Found 1/2097152" Iron Rod with 1/2097152" cap as noted
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- Found 1/8388608" Iron Rod with 1/8388608" cap as noted
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- Found 1/67108864" Iron Rod with 1/67108864" cap as noted
- Found 1/134217728" Iron Rod with 1/134217728" cap as noted
- Found 1/268435456" Iron Rod with 1/268435456" cap as noted
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- Found 1/1073741824" Iron Rod with 1/1073741824" cap as noted
- Found 1/2147483648" Iron Rod with 1/2147483648" cap as noted
- Found 1/4294967296" Iron Rod with 1/4294967296" cap as noted
- Found 1/8589934592" Iron Rod with 1/8589934592" cap as noted
- Found 1/17179869184" Iron Rod with 1/17179869184" cap as noted
- Found 1/34359738368" Iron Rod with 1/34359738368" cap as noted
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- Found 1/549755813888" Iron Rod with 1/549755813888" cap as noted
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- Found 1/217780725019775334362225296712457348704" Iron Rod with 1/217780725019775334362225296712457348704" cap as noted
- Found 1/435561450039550668724450593424914697408" Iron Rod with 1/435561450039550668724450593424914697408" cap as noted
- Found 1/871122900079101337448901186849829394816" Iron Rod with 1/871122900079101337448901186849829394816" cap as noted
- Found 1/1742245800158202674897802373696587789632" Iron Rod with 1/1742245800158202674897802373696587789632" cap as noted
- Found 1/3484491600316405349795604747393175579264" Iron Rod with 1/3484491600316405349795604747393175579264" cap as noted
- Found 1/6968983200632810699591209494786351158528" Iron Rod with 1/6968983200632810699591209494786351158528" cap as noted
- Found 1/13937966401265621399182418989572702317056" Iron Rod with 1/13937966401265621399182418989572702317056" cap as noted
- Found 1/27875932802531242793664377979145404634112" Iron Rod with 1/27875932802531242793664377979145404634112" cap as noted
- Found 1/55751865605062485587328755958290809268224" Iron Rod with 1/55751865605062485587328755958290809268224" cap as noted
- Found 1/111503731210124971174657511916581617536448" Iron Rod with 1/111503731210124971174657511916581617536448" cap as noted
- Found 1/223007462420249942349315023833163235072896" Iron Rod with 1/223007462420249942349315023833163235072896" cap as noted
- Found 1/446014924840499884698630047666326470145792" Iron Rod with 1/446014924840499884698630047666326470145792" cap as noted
- Found 1/892029849680999769397260095332652940291584" Iron Rod with 1/892029849680999769397260095332652940291584" cap as noted
- Found 1/1784059699361999538794520190665305880583168" Iron Rod with 1/1784059699361999538794520190665305880583168" cap as noted
- Found 1/3568119398723999077589040381330611761166336" Iron Rod with 1/3568119398723999077589040381330611761166336" cap as noted
- Found 1/7136238797447998155178080762661223522332672" Iron Rod with 1/7136238797447998155178080762661223522332672" cap as noted
- Found 1/14272477594895996310356161525322467044665344" Iron Rod with 1/14272477594895996310356161525322467044665344" cap as noted
- Found 1/28544955189791992620712323050644934089330688" Iron Rod with 1/28544955189791992620712323050644934089330688" cap as noted
- Found 1/57089910379583985241424646101289868178661376" Iron Rod with 1/57089910379583985241424646101289868178661376" cap as noted
- Found 1/11417982075916797048284929220257973633732752" Iron Rod with 1/11417982075916797048284929220257973633732752" cap as noted
- Found 1/22835964151833594096569858440515947267465504" Iron Rod with 1/22835964151833594096569858440515947267465504" cap as noted
- Found 1/45671928303667188193139716881031894534931008" Iron Rod with 1/45671928303667188193139716881031894534931008" cap as noted
- Found 1/91343856607334376386279433762063789069862112" Iron Rod with 1/91343856607334376386279433762063789069862112" cap as noted
- Found 1/182687713214668747772558867440127778139724224" Iron Rod with 1/182687713214668747772558867440127778139724224" cap as noted
- Found 1/365375426429337495545117734880255556279448448" Iron Rod with 1/365375426429337495545117734880255556279448448" cap as noted
- Found 1/730750852858674991090235469760511112558896896" Iron Rod with 1/730750852858674991090235469760511112558896896" cap as noted
- Found 1/1461501705717349982180470939521022225117793792" Iron Rod with 1/1461501705717349982180470939521022225

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner, Authorized Agent
 10154 S.W. 150
 New Albany, TX 77358
 832-713-1841



DOC # 2021128959
 Civilian DOL Sheet 7730



PLAT OF
**REPUBLIC GRAND RANCH
 SECTION 4**

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namren, Inc.
 P.O. Box 158, New Albany, TX 77358
 18PEL'S Firm No. 094080
 936-661-5525

Job No. 20-112

SHEET 14 OF 17

LEGEND

④ Block Number

○ Found Round Concrete Monument, size and type as noted

○ Found Square Concrete Monument, size and type as noted

○ Found 5/8" Iron Rod with cap as noted

○ Found 5/8" Iron Rod with 1/4" blue plastic cap note

○ MICHAEL A. NAMREN RPLS 60337 UNLESS OTHERWISE NOTED

○ Found Zone AE

○ Found Zone AE

○ Clerk's File Number

○ Montgomery County Deed Records

○ Montgomery County Official Public Records

○ Montgomery County Real Property Records

○ Montgomery County Plat Records

○ Minimum Finished Floor Elevation

○ Public Utility Easement, Drainage Easement & Nature Trail Easement

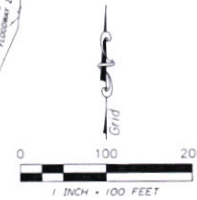
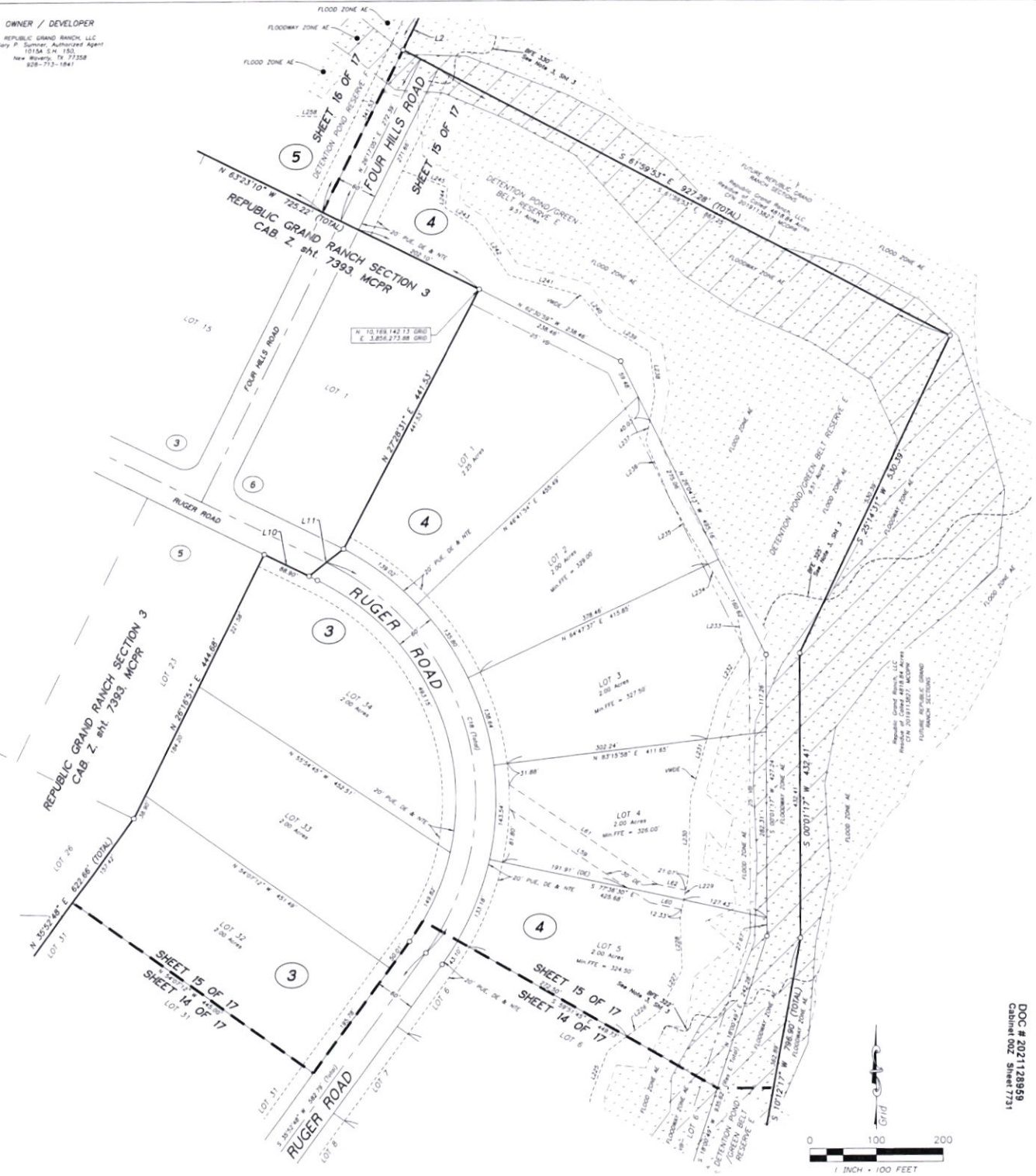
○ Vegetative Buffer

○ Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	10	Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11	Block 1, 2, 3 and 4
3	Notes, Line and Curve Tables	12	Blocks 3 and 4
4	Blocks 1 and 2, Site Bench Mark Detail	13	Blocks 3 and 4
5	Block 1 and 2	14	Block 3 and 4
6	Block 1	15	Block 3 and 4
7	Blocks 1 and 2	16	Block 3
8	Blocks 1 and 2	17	Block 4
9	Block 2 and 3		

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
Gary P. Schmitt, Authorized Agent
1015A S.H. 152
New Rivers, TX 77358
828-713-1841



PLAT OF
**REPUBLIC GRAND RANCH
SECTION 4**

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JUNE 2021

Namken, Inc.
P.O. Box 158, New Rivers, TX 77358
TAPES 2 Form No. 10-94090
936-661-3325

Job No. 20-112

SHEET 15 OF 17

LEGEND

- ④ Block Number
- CMF Found Round Concrete Monument, size and type as noted
- CMF Found Square Concrete Monument, size and type as noted
- SMM Found 5/8" Iron Rod with cap as noted
- Found 5/8" Iron Rod with 1/2" x 1/2" steel plate cap mid
- MICHAEL A. NAMKEN APPLS 65551, UNLESS OTHERWISE NOTED
- Floodway Areas in Zone AE
- Flood Zone AE
- Clerk's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Moun Filled Four Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VBE Vegetative Buffer
- VWD Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	10	Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11	Block 1, 2, 3 and 4
3	Notes, Line and Curve Tables	12	Blocks 3 and 4
4	Blocks 1 and 2, Site Bench Mark Detail	13	Blocks 3 and 4
5	Blocks 1 and 2	14	Block 3 and 4
6	Block 1	15	Block 3 and 4
7	Blocks 1 and 2	16	Block 3
8	Blocks 1 and 2	17	Block 4
9	Block 2 and 3		

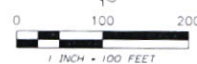
DOC # 2021128959
Cabinet 002, Sheet 7731

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 Gary P. Sumner, Authorized Agent
 10154, S.W. 150,
 New Caney, TX 77358
 281-713-1941

FUTURE REPUBLIC GRAND
 RANCH SECTIONS
 Republic Grand Ranch, LLC
 Reserve of Acres 4818.84 Acres
 CFN 2019113827 MCPR



DOC #202128959
 Cabinet 002 Sheet 7732



PLAT OF
**REPUBLIC GRAND RANCH
 SECTION 4**
 CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
 OUT OF THE RESERVE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JUNE 2021

Norman, Inc.
 P.O. Box 158, New Caney, TX 77358
 T8P6L8 Form No. 10/94/200
 936-661-3325

Job No. 20-112

SHEET 16 OF 17

LEGEND

- Block Number
- Found Round Concrete Monument, size and type as noted
- Found Square Concrete Monument, size and type as noted
- Found 5/8" Iron Rod, with cap as noted
- Found 5/8" Iron Rod with 1/4" blue plastic cap and
- "MICHAEL A. WARREN R/L'S 6551" UNLESS OTHERWISE NOTED
- Fireweed Area in Zone AE
- Flood Zone AE
- Clerk's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VB Vegetative Buffer
- VWDE Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	10	Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11	Block 1, 2, 3 and 4
3	Notes, Line and Curve Tables	12	Block 3 and 4
4	Blocks 1 and 2, Site Bench Mark Detail	13	Block 3 and 4
5	Block 1 and 2	14	Block 3 and 4
6	Block 1	15	Block 3 and 4
7	Block 1 and 2	16	Block 5
8	Block 1 and 2	17	Block 4
9	Block 2 and 3		

N 10 167.772 14 GRID
E 3.856.329 6.7 GRID

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LOT 356

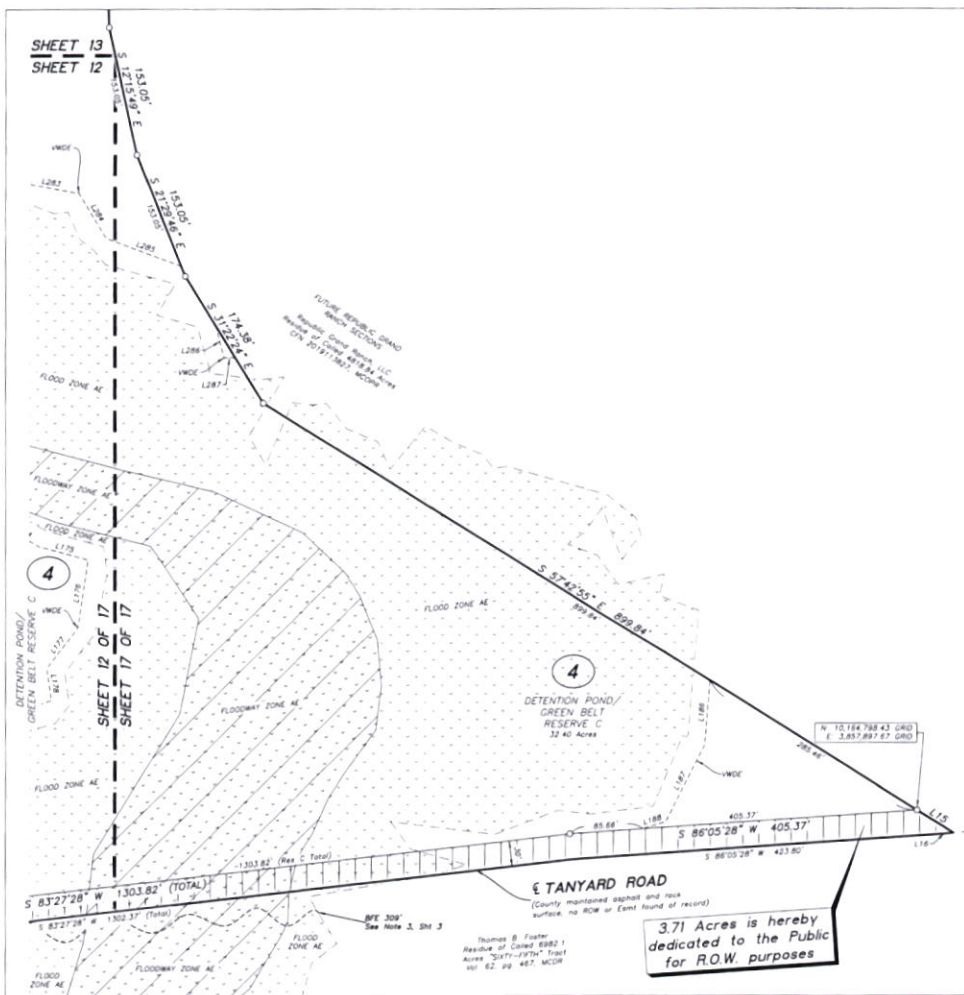
LOT 357

LOT 358

LOT 359

LOT 360

LOT 36



DOC # 2021128959
Cabinet 00Z Sheet 7733

CONTAINING 5 BLOCKS, 137 LOTS, 6 RESERVES

A SUBDIVISION CONTAINING 395.69 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

Nomken, Inc.
P.O. Box 1158, New Waverly, Tx 77558
TSPELS Firm No 10194090
936-661-3325

Job No. 20-112

SHEET 17 OF 17

INDIVIDUAL SHEETS INDEX		
1	Sheet Number Layout	10 Block 2 and 3
2	Certifications, Dedications, Notes, Vicinity Map	11 Block 1, 2, 3 and 4
3	Notes, Line and Curve Tables	12 Blocks 3 and 4
4	Blocks 1 and 2, Site Bench Mark Detail	13 Blocks 3 and 4
5	Blocks 1 and 2	14 Block 3 and 4
6	Block 1 and 2	15 Block 3 and 4
7	Blocks 1 and 2	16 Block 5
8	Blocks 1 and 2	17 Block 4
9	Block 2 and 3	

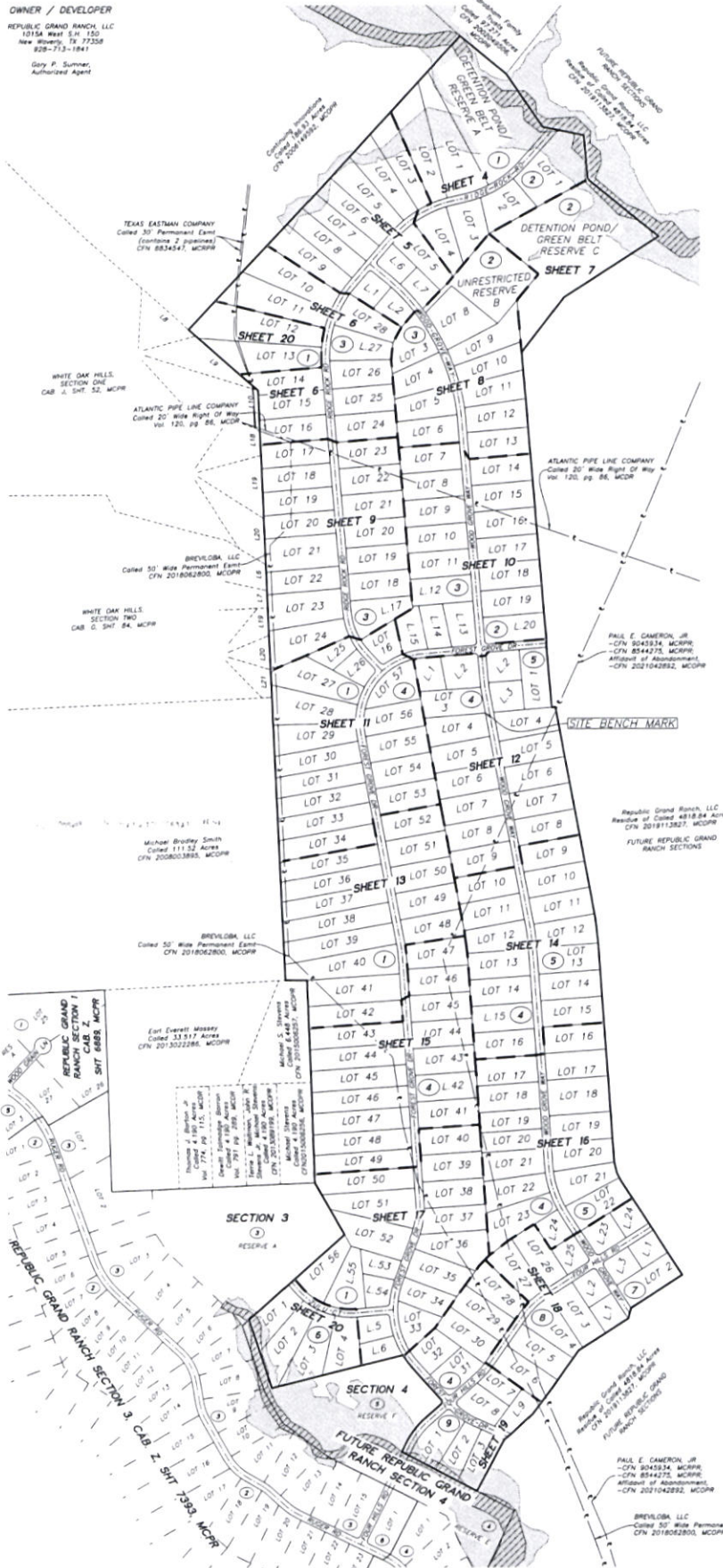
	Back Number
	Faunt Round Concrete Monument, size and type as noted
	Faunt Square Concrete Monument, size and type as noted
	Faunt 8"x8" Iron Rod, with cap as noted
	Faunt 8"x8" Iron Rod with 1/4" x 1/4" blue plastic cap as noted
	WHEEL & NAILING NUT 6.535" LAGS (others noted)
	Flashed Area in Zone AE
	Park Zone AE
	Field's File Number
	Montgomery County Deed Records
	Montgomery County Official Public Records
	Montgomery County Deed Records
	Montgomery County Plat Records
	Minimum Finished Floor Elevation
	Public Utility Elevation, Drainage Elevation & Nature Trail Elevation
	VB
	Variable With Private Drainage Elevation

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 12154 WEST 5TH 150
 NEW BERRY, TX 77358
 838-713-1847
 Gary P. Sumner,
 Authorized Agent

INDIVIDUAL SHEETS INDEX			
1	Sheet Number Layout	17	Blocks 1, 3 and 4
2	Certifications, Dedications and Vicinity Map	18	Blocks 4 and 5, Site Bench Mark
3	Notes, Line and Curve Tables	19	Blocks 1 and 4
4	Blocks 1 and 2	20	Blocks 4 and 5
5	Blocks 1, 2 and 3	21	Blocks 1 and 4
6	Blocks 1 and 3	22	Blocks 4 and 5
7	Block 2	23	Blocks 1, 4 and 5
8	Blocks 2 and 3	24	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	25	Blocks 4, 8, and 9
10	Blocks 2 and 3	26	Blocks 1 and 5

LEGEND

- 3/4" Found Iron Pipe, size and cap as noted
- 3/4" Found Iron Rod, size and cap as noted
- Found/Not 5/8" Iron Rod with 1-3/4" blue plastic cap med.
- MICHAEL A. NAMKEN RPLS 6533: UNLESS OTHERWISE NOTED
- ▨ Floodway Areas in Zone AE
- ▨ Flood Zone AE
- CFN Clerk's File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- Min. FF Minimum Fenced Pasture Elevation
- PLU, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer



REPUBLIC GRAND RANCH SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Namken, Inc.
 P.O. Box 1586 Newberry, TX 77358
 TAPES: Film No. 1094030
 936-661-3325

DOC # 2021136073
 Cabinet 002 Sheet 7788

Job No. 21-001

SHEET 1 OF 20

OWNERS ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF MONTGOMERY.

I, Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 5, do hereby make subdivision of said property for and on behalf of said Republic Grand Ranch, LLC, according to the lines, streets, lots, blocks, building lines, and easements (herein shown, and designate said subdivision as REPUBLIC GRAND RANCH SECTION 5, located in the JOSE MARIA DE LA GARZA SURVEY, A-15, Montgomery County, Texas, and on behalf of said Republic Grand Ranch, LLC, and dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon, and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades, and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that I, Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 5, have complied or will comply with all regulations heretofore on file with the Montgomery County Engineer and submitted by the Commissioners Court of Montgomery County, Texas.

There is also dedicated for utilities an unobstructed aerial easement five (5) feet wide from a plane twenty (20) feet above the ground upward, located adjacent to all easements shown hereon.

FURTHER, we, Republic Grand Ranch, LLC, do hereby dedicate forever to the public a strip of land, a minimum fifteen (15) feet wide on each side of the center line of any and all gulches, ravines, draws, sloughs, or other natural drainage courses located in the said subdivision, on easements for the drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easements at any and all times for the purpose of constructing and/or maintaining drainage work and/or structures.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows:
1. That drainage of water tanks into road, street, alley, or other public ditches, either directly or indirectly, is strictly prohibited.
2. Drainage structure under private drainage shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

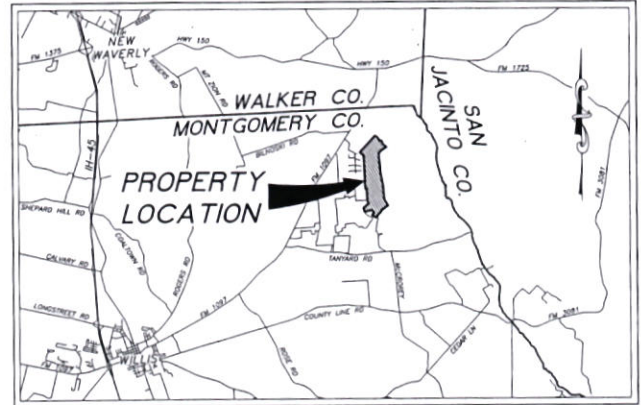
FURTHER, we do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of residential dwelling units thereon (or the placement of mobile home subdivisions) and shall be restricted for some under the terms and conditions of such restrictions that separate, unless otherwise noted.

IN TESTIMONY WHEREOF, Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC has caused these presents to be signed by Gary P. Sumner, Authorized Agent, thereunto authorized, and it's common seal hereunto affixed.

This 8 day of September 2021

Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC

Gary P. Sumner
By Gary P. Sumner, Authorized Agent



VICINITY MAP
Not To Scale

OWNERS ACKNOWLEDGEMENT FOR CORPORATIONS

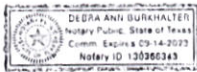
STATE OF TEXAS,
COUNTY OF MONTGOMERY.

BEFORE ME, the undersigned authority, on this day personally appeared Gary P. Sumner, Authorized Agent for Republic Grand Ranch, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

Dated this 8 day of September 2021

Debra Ann Bonharts
Notary Public for State of Texas



LIENHOLDERS ACKNOWLEDGEMENT & SUBORDINATION STATEMENT

STATE OF NORTH CAROLINA,
COUNTY OF NEW HANOVER.

I (or we), SHP Republic Grand Ranch, LLC, owner and holder of a lien against the property, said lien being evidenced by instrument of record under CNA 2019113827, 2019113828 and 2019113850, Official Public Records of Montgomery County, Texas, do hereby in all things subordinate to said plat said lien, and I (or we) hereby confirm that I am (or we are) the present owner (or owners) of said lien and have not assigned the same nor any part thereof.

[Signature]
By SHP REPUBLIC GRAND RANCH, LLC

NOTARY PUBLIC ACKNOWLEDGEMENT

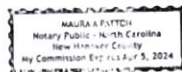
STATE OF NORTH CAROLINA,
COUNTY OF NEW HANOVER.

BEFORE ME, the undersigned authority, on this day personally appeared Michael Burnham, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

Dated this 3rd day of September 2021

Maura A. Patten
Notary Public for State of North Carolina



CERTIFICATION BY THE SURVEYOR

I, Michael A. Norman, am authorized (or registered) under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct, was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulations; that all corners and single points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods, have a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.

Mike A. Norman
Michael A. Norman
Registered Professional Land Surveyor No. 6533



COUNTY ENGINEER'S ACKNOWLEDGEMENT

I, Jeff Johnson, P.E., County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners Court.
I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by Commissioners Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other subdivision within the watershed.

[Signature]
Jeff Johnson, P.E., County Engineer

APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Montgomery County, Texas has approved the Plat of REPUBLIC GRAND RANCH, SECTION 5.

DATED this 29 day of September 2021

[Signature]
Robert C. Walker
Commissioner, Precinct 1

[Signature]
James [Name]
Commissioner, Precinct 3

[Signature]
Charles Riley
Commissioner, Precinct 2

[Signature]
James [Name]
Commissioner, Precinct 4

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS,
COUNTY OF MONTGOMERY.

I, Mark Turnbull, County Clerk of Montgomery County, Texas, do hereby certify that the within instrument with it's certificate of authentication was filed for registration in my office on

September 29, 2021

at 9:30 o'clock A.M., and duly recorded on

September 30, 2021

at 9:53 o'clock A.M., in Cabinet 2, sheet 7789

of record of maps for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull
Mark Turnbull, Clerk, County Court,
Montgomery County, Texas

[Signature]
Deputy



PLAT OF

REPUBLIC GRAND RANCH SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JULY 2021

Norman, Inc.
P.O. Box 658, New Waverly, TX 77558
TAPES Form No. 10-94090
936-661-3325

DOC # 2021136073
Cabinet 002 Sheet 7789

Job No. 21-001

SHEET 2 OF 20

OWNER / DEVELOPER

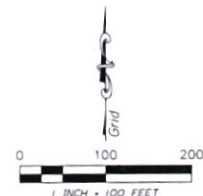
REPUBLIC GRAND RANCH, LLC
10154 S.H. 130,
New Caney, TX 77358
828-713-1841
Gary P. Sumner,
Authorized Agent



LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1/4" blue plastic cap mid
- MICHAEL A. NARMEN RPLS 65331, LALBSS otherwise noted
- Floodway Areas in Zone AE
- Flood Zone AE
- Clerk's File Number
- MCRR Montgomery County Deed Records
- MCORR Montgomery County Official Public Records
- MCRRR Montgomery County Real Property Records
- MCRR Montgomery County Plat Records
- Min. FF Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX			
1	Sheet Number Layout	11	Blocks 1, 3 and 4
2	Certifications, Dedications and Vicinity Map	12	Blocks 4 and 5, Site Bench Mark
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4	Blocks 1 and 2	14	Blocks 4 and 5
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7	Block 2	17	Blocks 1, 4 and 5
8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 8, and 9
10	Blocks 2 and 3	20	Blocks 1 and 6



PLAT OF REPUBLIC GRAND RANCH SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 201913827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

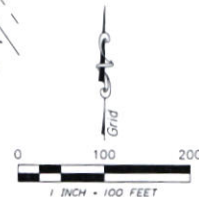
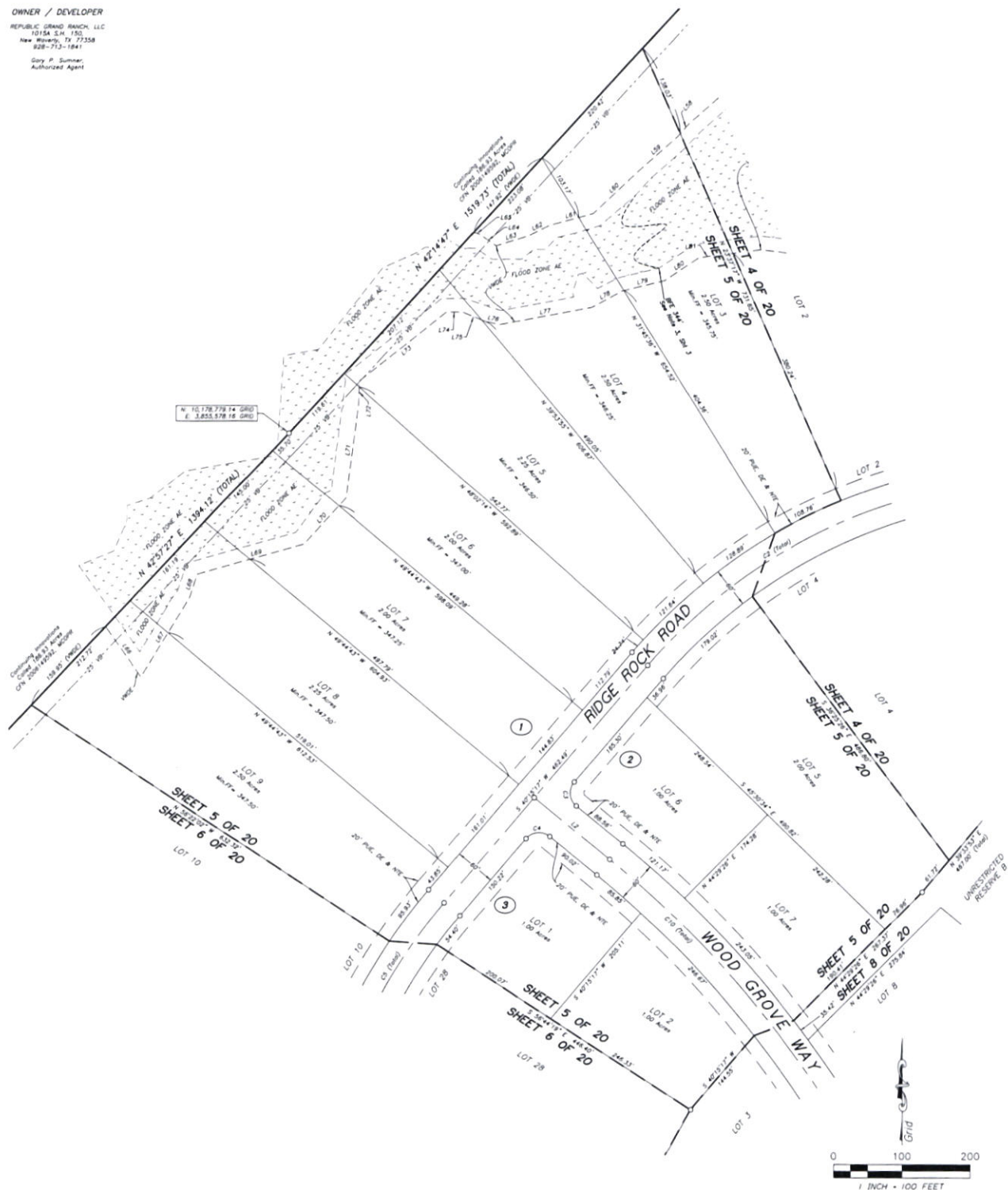
JULY 2021

Narmen, Inc.
P.O. Box 218, New Caney, TX 77358
TBEPLS Firm No. 1094090
936-661-3325

Job No. 21-001

SHEET 4 OF 20

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 1015A S.H. 150
 New Mexico, TX 77558
 936-713-1841
 Gary P. Sumner,
 Authorized Agent



PLAT OF
REPUBLIC GRAND RANCH
SECTION 5
 CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Namken, Inc.
 P.O. Box 1158, New Mexico, TX 77558
 TPLS Form No. 02940390
 936-661-3325

Job No. 21-001

SHEET 5 OF 20

LEGEND

- Block Number
- Found Iron Pin, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap mks
- MICHAEL A. NAMKEN RPLD 65331, UNLESS OTHERWISE NOTED
- Floodway Areas in Zone AE
- Flood Zone AE
- Clerk's File Number
- MCOR Montgomery County Official Public Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Real Property Records
- Mn. FF Minimum Finished Floor Elevation
- P.U.E. DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

DOC # 2021136073
 Cabinet 002 Sheet 7792

INDIVIDUAL SHEETS INDEX

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8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 8, and 9
10	Blocks 2 and 3	20	Blocks 1 and 6

OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
1015A S.H. 150,
New Waverly, TX 77358
928-713-1841

Gary P. Sumner,
Authorized Agent



DOC # 2021136073
Cabinet 00Z Sheet 779

PLAT OF

REPUBLIC GRAND RANCH
SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JULY 2021

Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TSPELS Firm No. 10194090
936-661-3325

Job No. 21-001

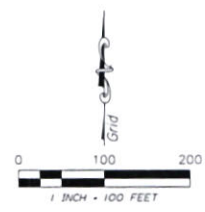
SHEET 6 OF 20

INDIVIDUAL SHEETS INDEX		
1	Sheet Number Layout	Blocks 1, 3 and 4
2	Certification Locations and Vicinity Map	Blocks 1 and 5, Site Plan Map
3	Notes, Line and Curve Tables	Blocks 1 and 4
4	Blocks 1 and 2	Blocks 4 and 5
5	Blocks 1, 2 and 3	Blocks 4 and 4
6	Blocks 1 and 3	Blocks 4 and 5
7	Block 2	Blocks 1, 4 and 6
8	Blocks 2 and 3	Blocks 4, 5, 7 and 8
9	Blocks 3 and 3	Blocks 4, 8, and 9
10		Block 9

LEGEND

- | | |
|---|---|
|  | Black Number |
|  | Found on Page, size and cap as noted |
|  | Found on Red, size and cap as noted |
|  | Found on 5/8" Iron Rod with 1/4-1/2 size plastic cap incl. |
|  | *MICHAEL A. NAGMANN PLS 65337. UNLESS otherwise noted |
|  | Flowway Areas in Zone A/E |
|  | Found Zone A/E |
|  | Clark's File Number |
|  | Montgomery County Deed Records |
|  | Montgomery County Official Public Records |
|  | Montgomery County Real Property Records |
|  | Montgomery County Plat Records |
|  | Minimum Finished Floor Elevation |
|  | PLU, ZONE & NTE |
|  | Public Utility, Easement, Drainage Easement & Nature Trail Easement |
|  | Private Water, Private Drainage Easement |
|  | Undated 1/1/19 |

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 L.W. 150
 New Waverly, TX 77358
 832-713-1861
 Gary P. Sumner
 Authorized Agent



PLAT OF
REPUBLIC GRAND RANCH
SECTION 5
 CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Sumner, Inc.
 P.O. Box 158, New Waverly, TX 77358
 TPELE Form No. 10-940380
 936-661-3325

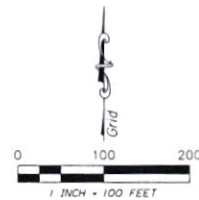
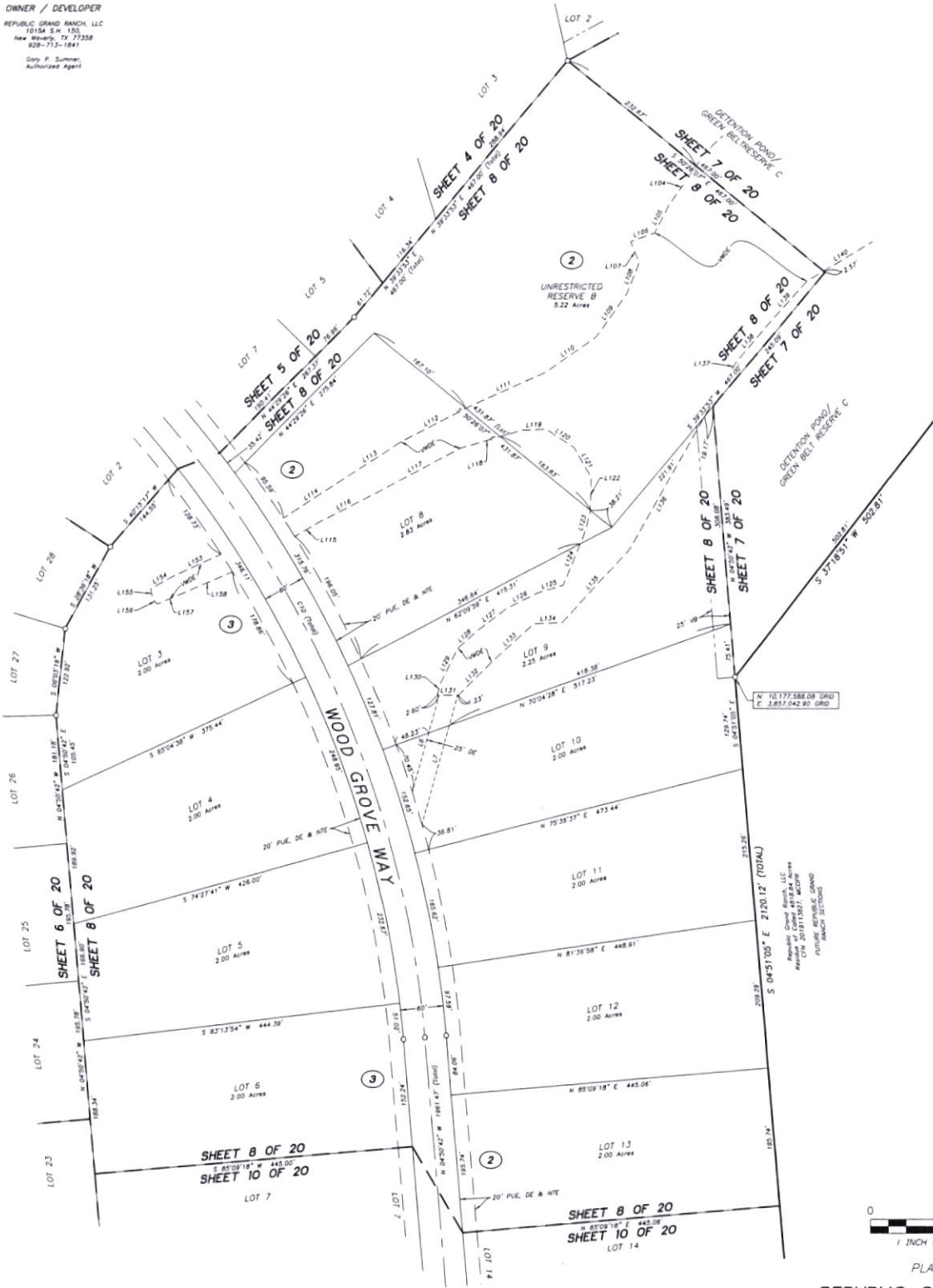
Job No. 21-001

SHEET 7 OF 20

- LEGEND**
- Block Number
 - Found Iron Pipe, size and cap as noted
 - Found Iron Rod, size and cap as noted
 - Found 5/8" S-CP from Road with 1/2" S-CP blue plastic cap road
 - W/CHAMBER, A. NADHIE, APL, S. 6537, UNLESS otherwise noted
 - Flooded Area in Zone AE
 - Flood Zone AE
 - CFN Clerk's File Number
 - MCDR Montgomery County Deed Records
 - MCDPR Montgomery County Official Public Records
 - MCDPR Montgomery County Real Property Records
 - MCDPR Montgomery County Plat Records
 - Mfn. FF Minimum Finished Floor Elevation
 - PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
 - VWDE Variable Width Private Drainage Easement
 - VB Vegetative Buffer

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10	Blocks 2 and 3	20	Blocks 1 and 6

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 S.W. 150
 New Waverly, TX 77358
 828-713-1841
 Gary P. Sumner
 Authorized Agent



PLAT OF
REPUBLIC GRAND RANCH
SECTION 5
 CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 NO. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Namken, Inc.
 P.O. Box 158, New Waverly, TX 77358
 199619, Form No. 109-940392
 936-661-3325

Job No. 21-001

SHEET 8 OF 20

LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1/2" x 1/4" blue plastic cap, read
 MICHAEL A. SUMNER RPLS 6533; UNLESS otherwise noted
- Passway Area in Zone AE
- Flood Zone AE
- Clark's File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- MFL Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

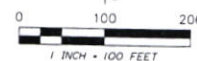
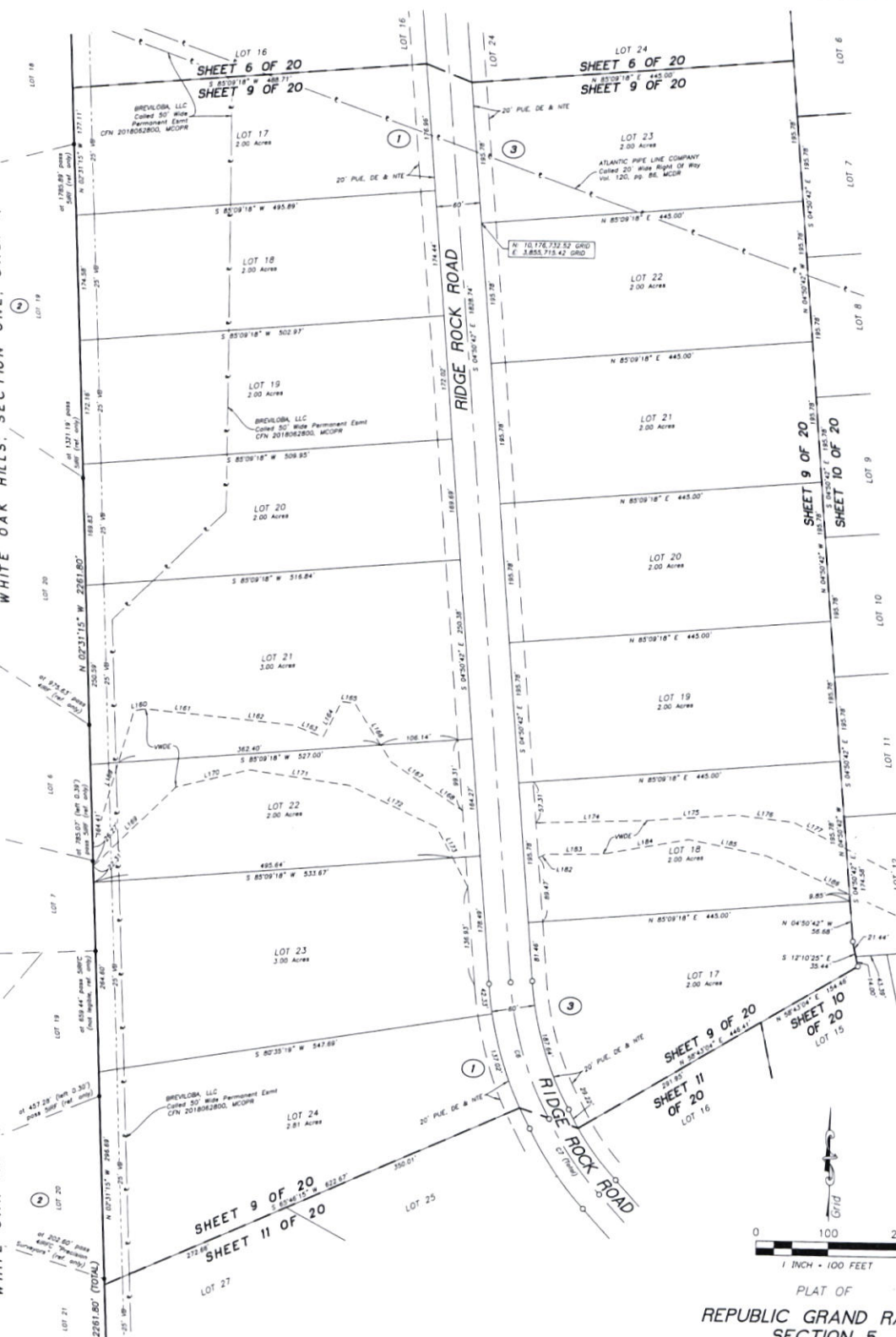
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OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 S.H. 150
 New Mexico, TX 77358
 929-713-1841
 Gary P. Sumner
 Authorized Agent

WHITE OAK HILLS, SECTION ONE, CAB. J. SHT. 52, MCPR

WHITE OAK HILLS, SECTION TWO, CAB. O. SHT. 84, MCPR



PLAT OF

REPUBLIC GRAND RANCH SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 NO. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Nathan, Inc.
 P.O. Box 1158, New Mexico, TX 77358
 TBP&S Firm No. 0394030
 936-661-3325

Job No. 21-001

LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-5/4" blue plastic cap mid
- WIDOWS, A. NARRATIVE RPLS 6333; UNLESS OTHERWISE NOTED
- Floodway Areas in Zone AE
- Flood Zone AE
- Clark's File Number
- Montgomery County Deed Records
- MCPR Montgomery County Official Public Records
- MCPR Montgomery County Official Public Records
- MCPR Montgomery County Public Records
- Min. FF Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

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SHEET 9 OF 20

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 1015A S.H. 150
 New Haven, TX 77358
 828-713-1841
 Gary R. Sumner
 Authorized Agent



DOC # 2021138073
 Cabinet 002 Sheet 7787

PLAT OF
REPUBLIC GRAND RANCH
SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 NO. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Norman, Inc.
 P.O. Box 158 New Haven, TX 77358
 TAPES File No. 1094090
 936-661-3325

Job No. 21-001

SHEET 10 OF 20

LEGEND

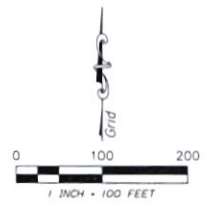
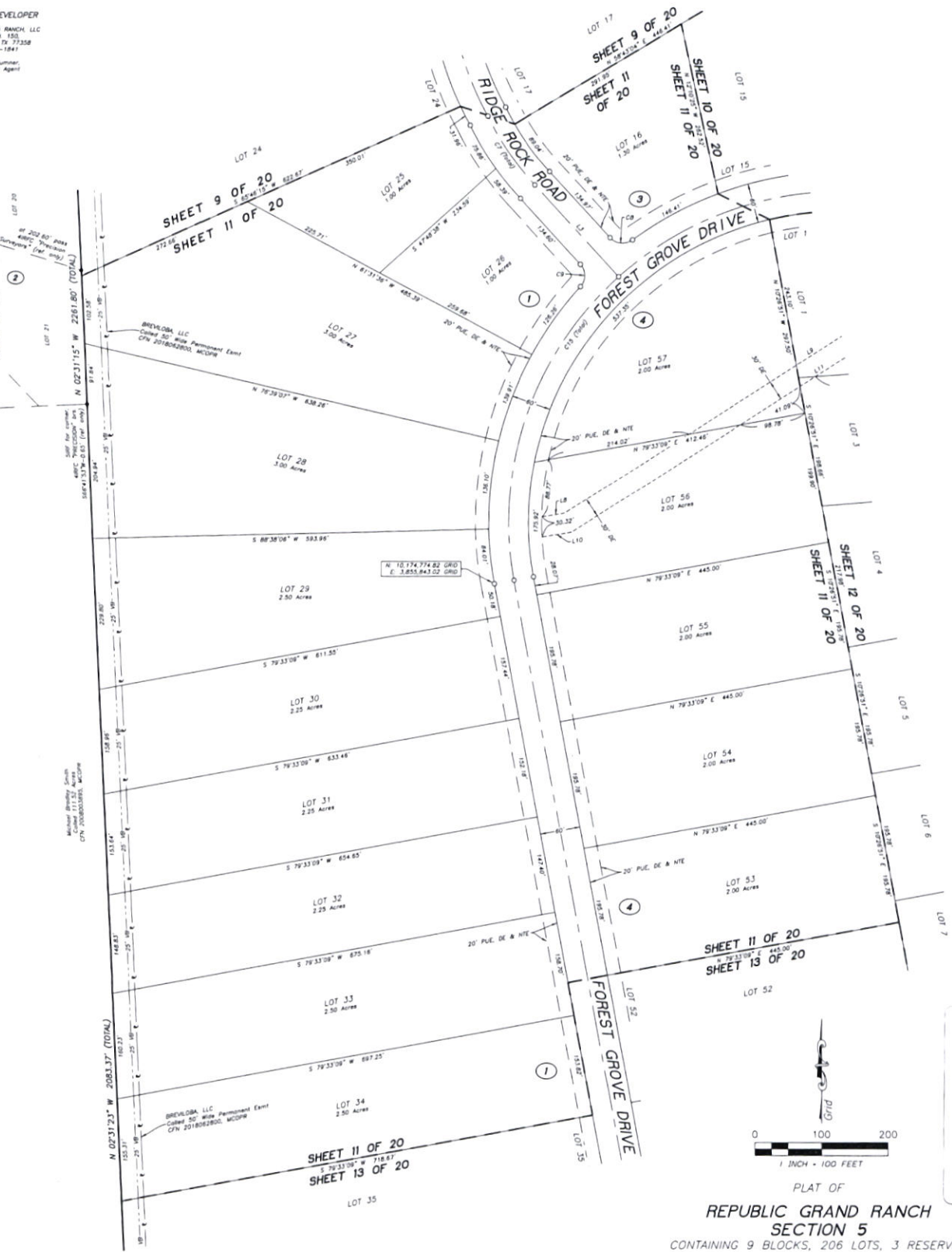
- ④ Block Number
- 3/4" Found Iron Pipe, size and cap as noted
- 1/2" Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap mid
- MICHAEL A. NARMEN RPL'S 63331, UNLESS OTHERWISE NOTED
- Flashed Areas in Zone AE
- First Zone AE
- C/N Curve File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORR Montgomery County Real Property Records
- MCORF Montgomery County Plat Records
- Min. F.T. Minimum Finished Floor Elevation
- P.U.E. & N.T.E. Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

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10	Blocks 2 and 3	20	Blocks 1 and 6

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 15154 S.H. 150
 New Albany, IN 47150
 828-713-1841
 Gary P. Sumner,
 Authorized Agent

WHITE OAK HILLS, SECTION TWO
 CAB. O. Btl. 84, MCPR



**PLAT OF
 REPUBLIC GRAND RANCH
 SECTION 5**

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Norton, Inc.
 P.O. Box 1588 New Albany, IN 47150
 TAPES & FIRM No. 1094080
 936-661-3325

Job No. 21-001

SHEET 11 OF 20

- LEGEND**
- Block Number
 - Found Iron Pipe, size and cap as noted
 - Found Iron Rod, size and cap as noted
 - Found 5/8" Iron Rod with 1-3/4" blue plastic cap mtd.
 - MICHAEL A. NAMEN RPLD 65357, UNLESS OTHERWISE NOTED
 - Plat Zone AE
 - C/N Clerk's File Number
 - MCOR Montgomery County Deed Records
 - MCOPR Montgomery County Official Public Records
 - MCORR Montgomery County Real Property Records
 - MCORP Montgomery County Plat Records
 - MN FT Minimum Finished Floor Elevation
 - P.U.E. DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
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 - VB Vegetative Buffer

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10	Blocks 2 and 3	20	Blocks 1 and 6



OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
1015A S.H. 150
New Waverly, TX 77358
928-713-1841
Gary P. Sumner,
Authorized Agent

LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap mid
- NOTHING, A. HANCOCK, N.P.S. 6533; UNLESS OTHERWISE NOTED
- Flooded Area in Zone AE
- Flood Zone AE
- Clark's File Number
- Montgomery County Deed Records
- MCOR Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCN Montgomery County Plat Records
- MFL Minimum Finished Floor Elevation
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REPUBLIC GRAND RANCH
SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

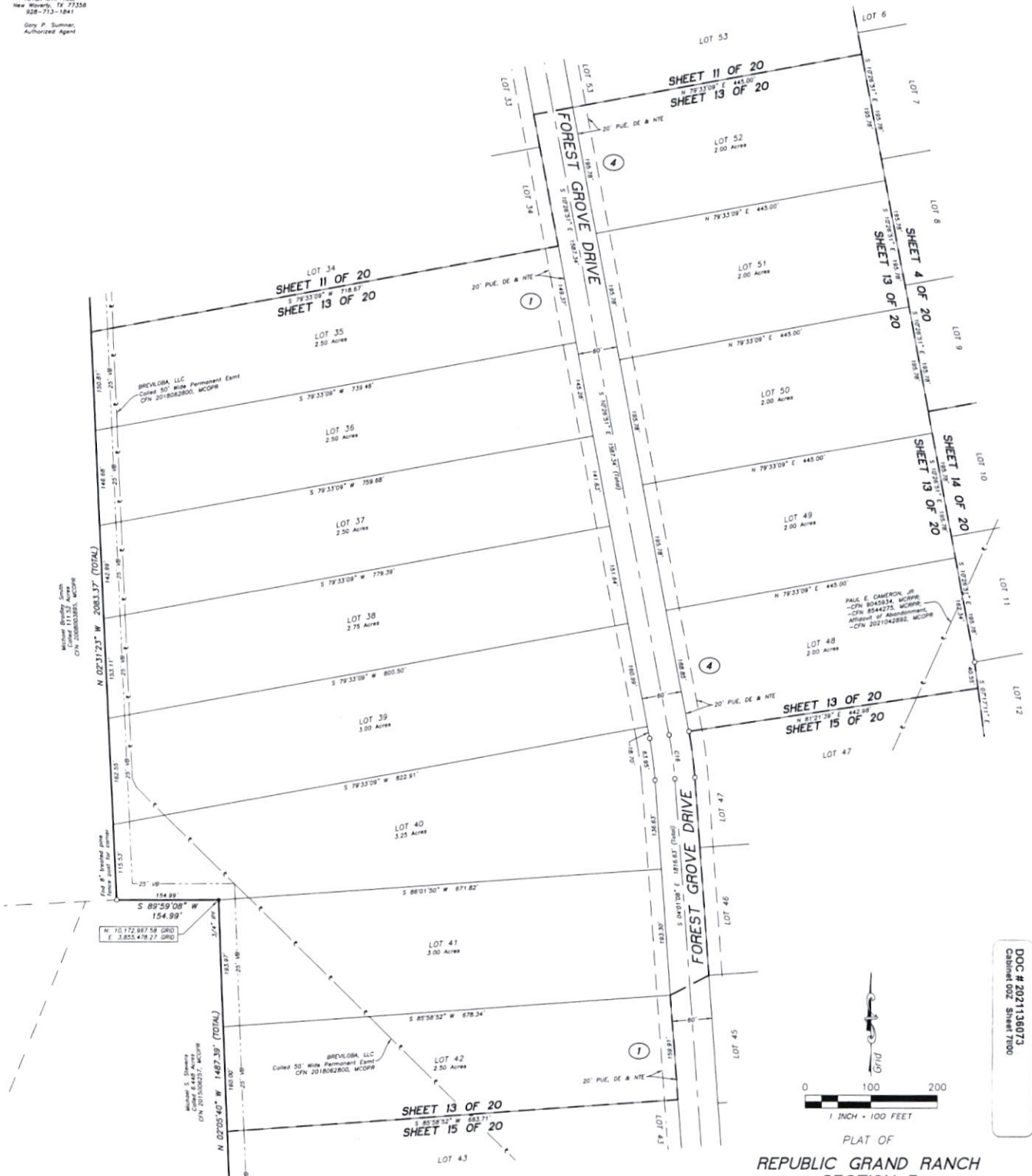
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JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

JULY 2021

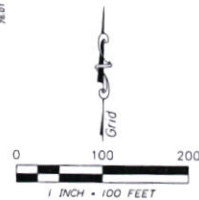
Northen, Inc.
P.O. Box 1158, New Waverly, TX 77358
TPELPS Firm No. 1094090
936-661-3325

Job No. 21-001

SHEET 13 OF 20



REPUBLIC GRAND RANCH, LLC
1015A S.H. 150,
New Waverly, TX 77358
928-713-1841
Gary P. Sumner,
Authorized Agent



REPUBLIC GRAND RANCH
SECTION 5

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE

No. 2019113827, MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

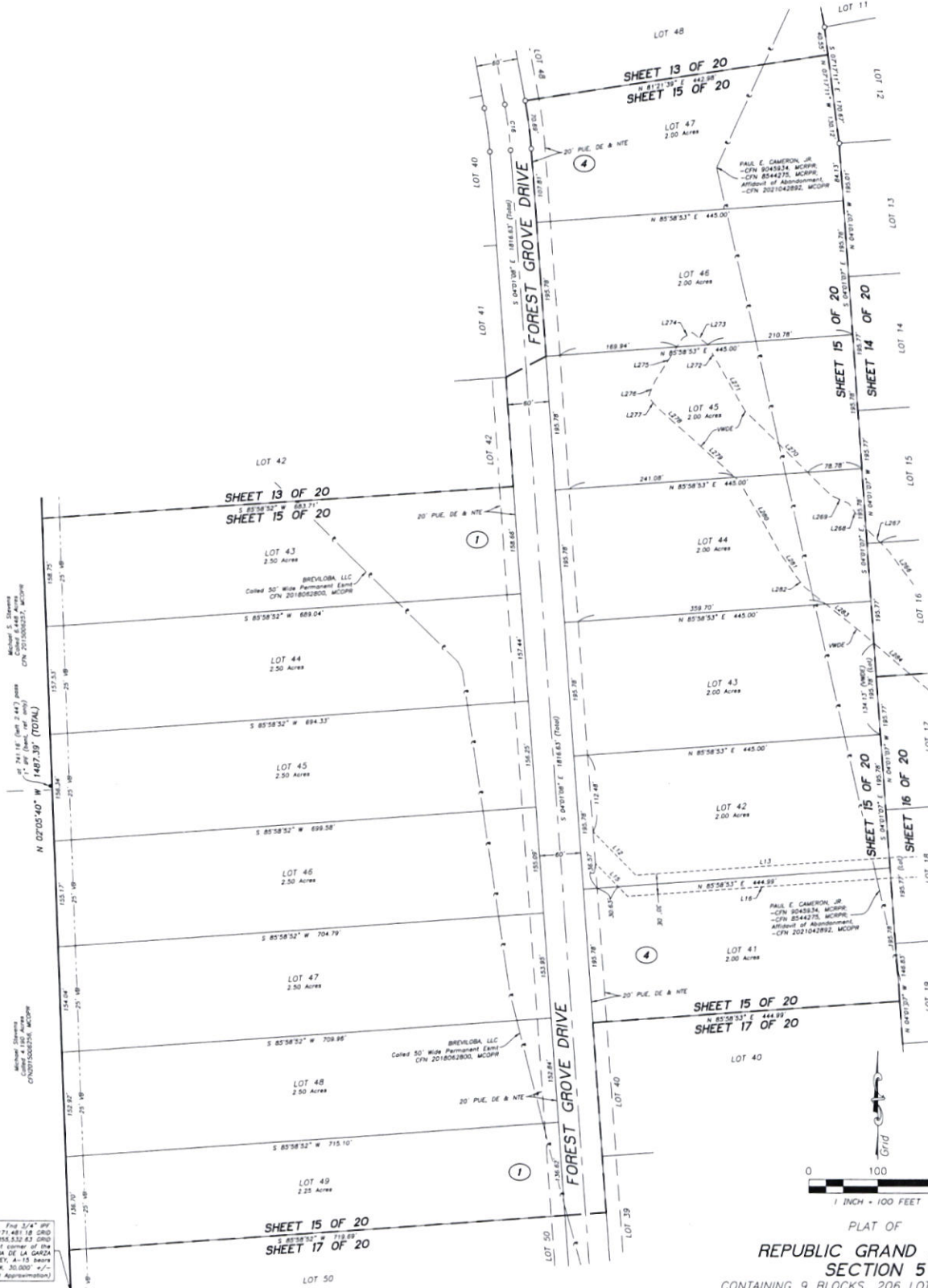
Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 21-001

INDIVIDUAL SHEETS INDEX		
1	Sheet Number Layout	11 Blocks 1, 3 and 4
2	Certification, Deductions and Vicinity Map	12 Blocks 1 and 5, Site Bench Mark
3	Notes, Line and Curve Tables	13 Blocks 1 and 4
4	Blocks 1 and 2	14 Blocks 4 and 5
5	Blocks 1, 2 and 3	15 Blocks 1 and 4
6	Blocks 1 and 3	16 Blocks 4 and 5
7	Block 2	17 Blocks 1, 4 and 6
8	Blocks 2 and 3	18 Blocks 4, 5, 7, and 8
9	Blocks 1 and 3	19 Blocks 4, 8 and 9
10	Blocks 1 and 3	20 Blocks 1 and 4

	Block Number
	Found Iron Pipe, size and cap as noted
	Found Iron Rod, size and cap as noted
	Found 5/8" Iron Rod with 1-5/8" flat plastic cap mid
	"MICHAEL A. NARMEN R/LB 6535" UNLESS otherwise noted
	Footway Area in Zone A
	Final Zone Ad
	Cart's File Number
	Montgomery County Deed Records
	Montgomery County Official Public Records
	Montgomery County Real Property Records
	Montgomery County Plot Records
	Minimum Finished Floor Elevation
	PLC, EC & NTE
	Public Utility Easement, Drainage Easement & Natural Trail Easement
	VEDE
	VEDE
	VEDE
	VEDE
	VEDE
	VEDE
	VEDE
	VEDE
	VEDE
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	VEDE
	VEDE

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 S.H. 150
 New Waverly, TX 77358
 928-713-1841
 Gary P. Sumner,
 Authorized Agent



Final 3/4" plat
 N 10.171' ± 481.18' ± 0.00
 E 3.893' ± 332.83' ± 0.00
 Southwest corner of the
 JOSE MARIA DE LA GARZA
 SURVEY, A-15, Block
 3, 15' ±, 30.000' ±, 1/4"
 (Survey Approximation)

- LEGEND**
- Block Number
 - Found Iron Pipe, size and cap as noted
 - Found Iron Rod, size and cap as noted
 - Found 5/8" 5/8" Iron Rod with 1-3/4" blue plastic cap, M&L
 - MICHAEL A. NAKEN RPLD 65337, UNLESS OTHERWISE NOTED
 - Flashed Areas in Zone AE
 - Clark's File Number
 - Montgomery County Deed Records
 - Montgomery County Official Public Records
 - Montgomery County Real Property Records
 - Montgomery County Plat Records
 - Minimum Finished Floor Elevation
 - PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
 - VWDE Variable Width Private Drainage Easement
 - VBI Vegetative Buffer

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	11	Blocks 1, 3 and 4
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3	Notes, Line and Curve Tables	13	Blocks 1 and 4
4	Blocks 1 and 2	14	Blocks 4 and 5
5	Blocks 1, 2 and 3	15	Blocks 1 and 4
6	Blocks 1 and 3	16	Blocks 4 and 5
7	Block 2	17	Blocks 1, 4 and 5
8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 6, and 9
10	Blocks 2 and 3	20	Blocks 1 and 6

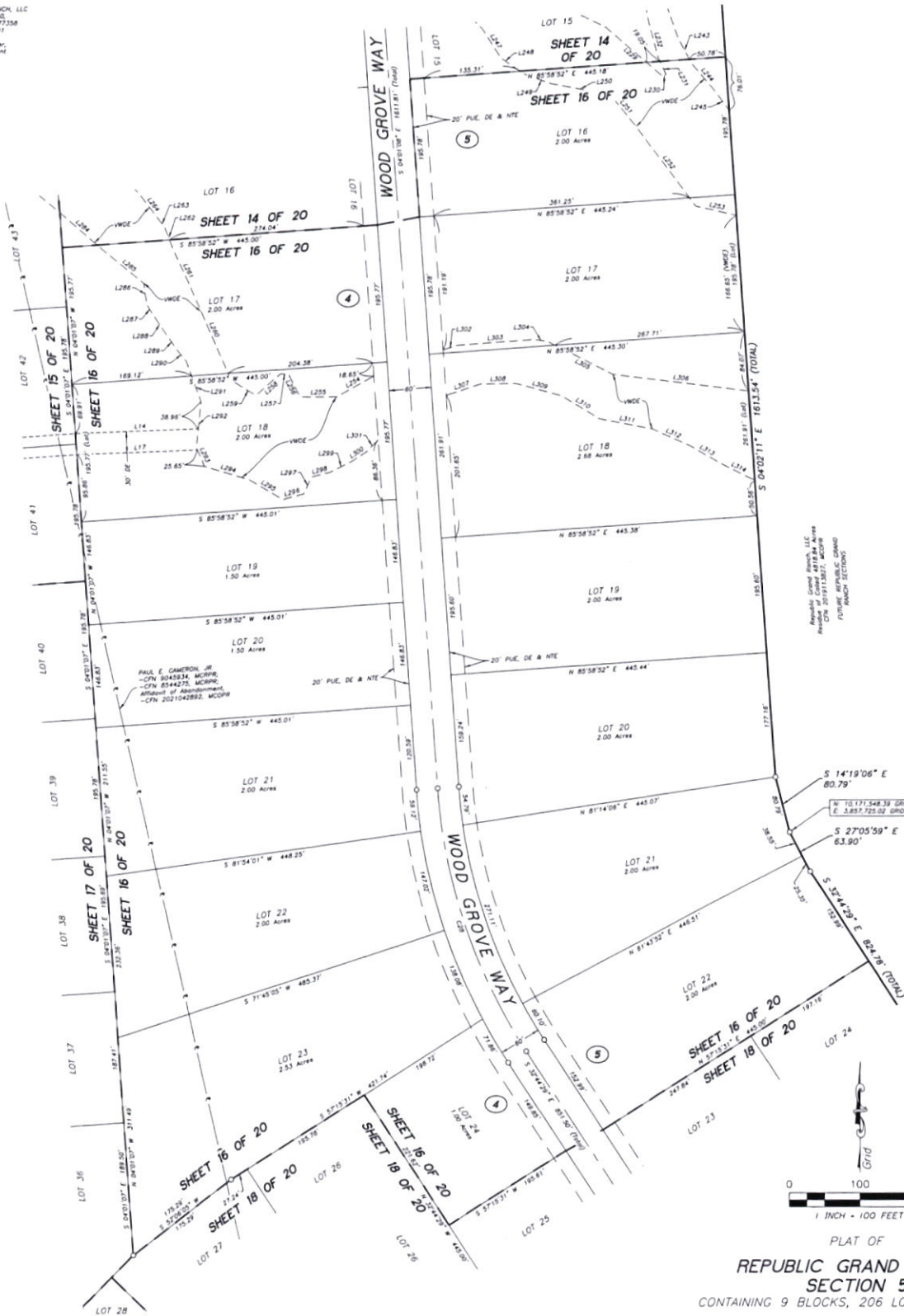
**REPUBLIC GRAND RANCH
 SECTION 5**

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES
 A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021
 NAKEN, INC.
 P.O. Box 1556, New Waverly, TX 77358
 TPELS Form No. 0394090
 936-661-3325

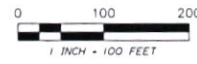
Job No. 21-001

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 S.H. 150
 New Mexico, TX 77558
 828-713-1841
 Gary P. Sumner,
 Authorized Agent



Republic Grand Ranch, LLC
 Registered in County of Brazoria
 CPN 2019113827
 FIDUCIARY PUBLIC RECORDS
 SECTION 5

S 14°19'06\"/>



PLAT OF
REPUBLIC GRAND RANCH
SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Namken, Inc.
 P.O. Box 1158, New Waverly, TX 77558
 TAPES Form No. 0284090
 936-661-3325

Job No. 21-001

SHEET 16 OF 20

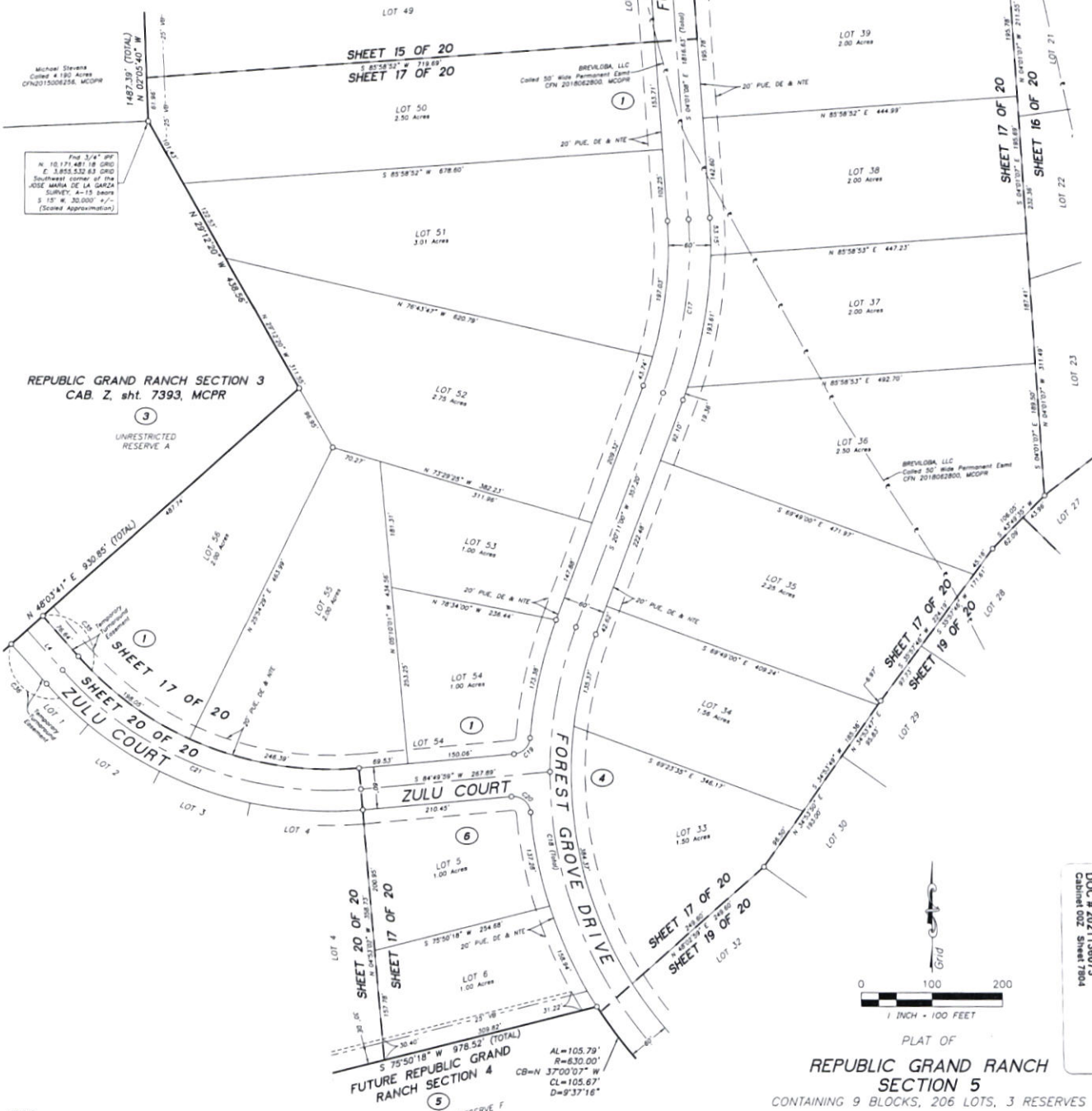
LEGEND

- Block Number
- Found Iron Pipe, size and clip as noted
- Found Iron Rod, size and clip as noted
- Found 5/8\"/>

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	11	Blocks 1, 3 and 4
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6	Blocks 1 and 3	16	Blocks 4 and 5
7	Block 2	17	Blocks 1, 4 and 6
8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 8, and 9
10	Blocks 2 and 3	20	Blocks 1 and 6

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 E.H. 150
 New Mexico, TX 77358
 928-713-1841
 Gary P. Sumner,
 Authorized Agent



- LEGEND**
- ① Block Number
 - 1/4" Found Iron Pipe, size and cap as noted
 - 3/8" Found Iron Rod, size and cap as noted
 - Found 5/8" Iron Rod with 1-3/4" blue plastic cap mks.
 - MICHAEL A. NAMPIEN RPLS 65351 UNLESS OTHERWISE NOTED
 - ▭ Platted Area in Zone AE
 - ▭ Fixed Zone AE
 - ▭ Clerk's File Number
 - ▭ Montgomery County Deed Records
 - ▭ Montgomery County Official Public Records
 - ▭ Montgomery County Real Property Records
 - ▭ Montgomery County Plat Records
 - ▭ Min. 1' Vt
 - ▭ PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
 - ▭ Variable Width Private Drainage Easement
 - ▭ Vegetative Buffer

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	11	Blocks 1, 3 and 4
2	Certifications, Dedications and Vicinity Map	12	Blocks 4 and 5, Site Bench Mark
3	Notes, Line and Curve Tables	13	Blocks 1 and 4
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6	Blocks 1 and 3	16	Blocks 4 and 5
7	Block 2	17	Blocks 1, 4 and 6
8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 8, and 9
10	Blocks 2 and 3	20	Blocks 1 and 6

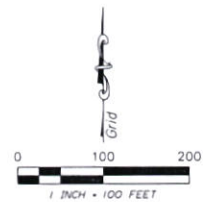
REPUBLIC GRAND RANCH SECTION 5
 CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES
 A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 NO. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021
 Norman, Inc.
 P.O. Box 1558, New Mexico, TX 77358
 TSP/ELS Firm No. 1094090
 936-661-3325

Job No. 21-001

SHEET 17 OF 20

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10158 S.H. 150
 New Waverly, TX 77358
 828-713-1841
 Gary R. Sumner
 Authorized Agent



PLAT OF
REPUBLIC GRAND RANCH
SECTION 5

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827, MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Northen, Inc.
 P.O. Box 1158, New Waverly, TX 77358
 TBP&L Form No. 0994090
 936-661-3329

Job No. 21-001

SHEET 18 OF 20

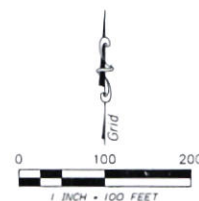
LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap mid
- MICHAEL A. NAKHREN RPLS 65331, UNLESS OTHERWISE NOTED
- Plat Sheet Area in Zone AE
- Fixed Zone AE
- Clk's File Number
- MCDH Montgomery County Deed Records
- MCDH Montgomery County Official Public Records
- MCDH Montgomery County Real Property Records
- MCDH Montgomery County Plat Records
- MN TFF Minimum Finished Floor Elevations
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX

1	Sheet Number Layout	11	Blocks 1, 3 and 4
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6	Blocks 1 and 3	16	Blocks 4 and 5
7	Block 2	17	Blocks 1, 4 and 6
8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 8, and 9
10	Blocks 2 and 3	20	Blocks 1 and 6

Gary P. Sumner,
Authorized Agent

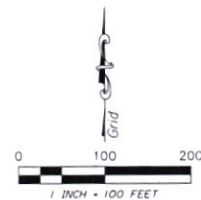
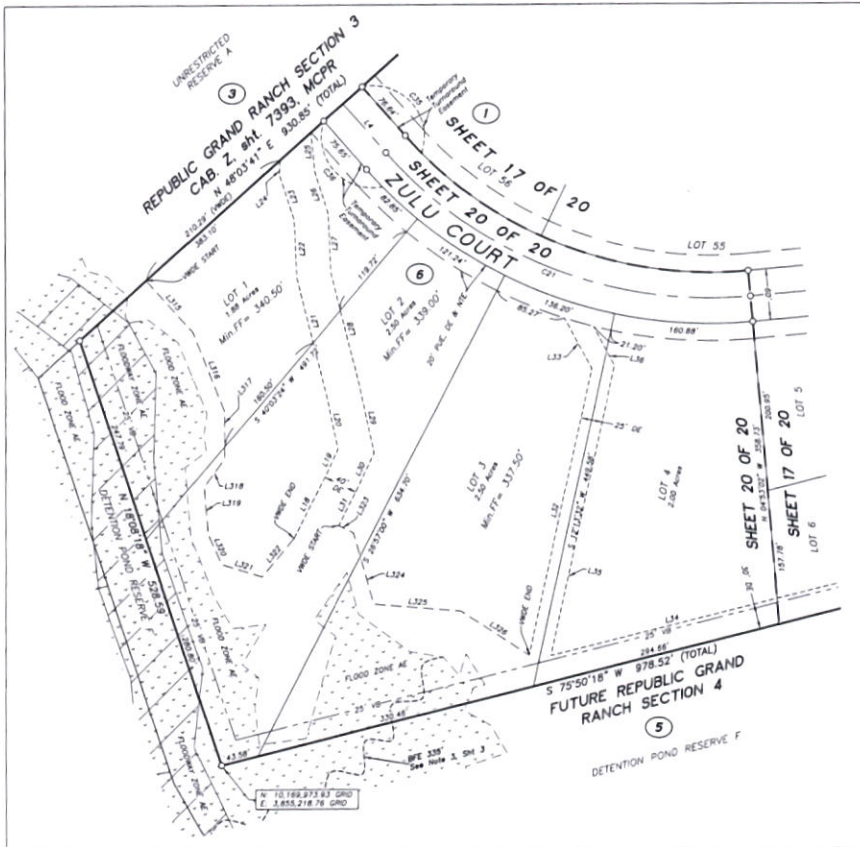
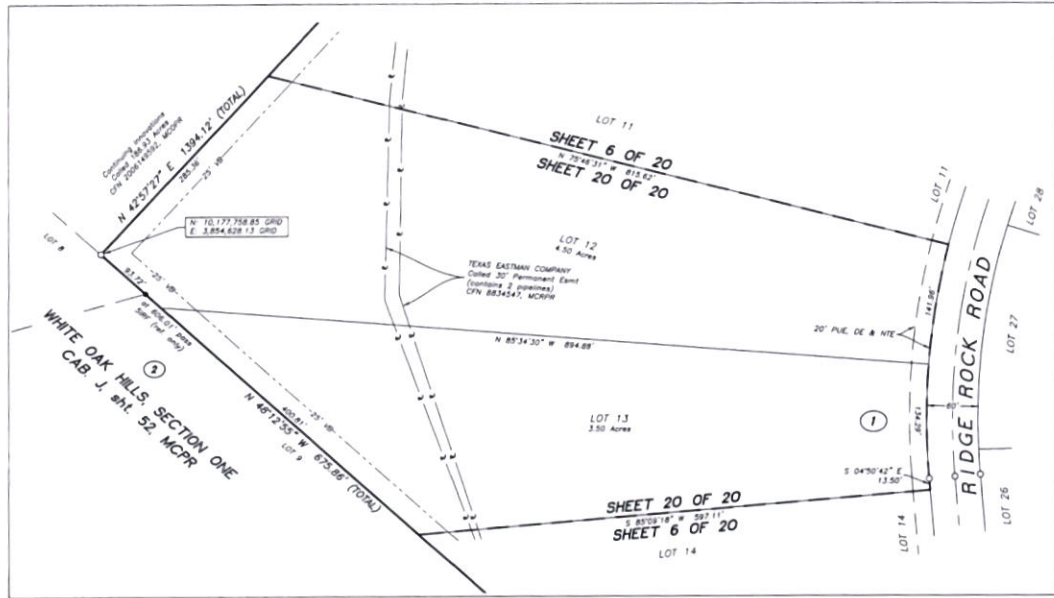


Job No. 21-001

Block Number
Found Iron Pipe, size and cap as noted
Found Iron Rod, size and cap as noted
Found/Spr 5" Iron Pipe with 1/4" size plastic cap, mfg.
"MICHAEL A. NARMEN RPLS 6533", UNLESS otherwise noted
Fireweed Area in Zone AE
Flood Zone AE
Don's File Number
Montgomery County Deed Records
Montgomery County Official Public Records
Montgomery County Real Property Records
Montgomery County, Poll Records
Minimum Fenced Field Elevation
Public Utility Easement, Drains Easement & Nature Trail Easement
Variable Width Private Driveway Easement
Vegetative Buffer

SHEET 19 OF 20

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 S.H. 156
 New Mexico, TX 77358
 936-713-1841
 Gary P. Sumner
 Authorized Agent



DOC # 2021136073
 Cabinet 002, Sheet 7807

PLAT OF
**REPUBLIC GRAND RANCH
 SECTION 5**

CONTAINING 9 BLOCKS, 206 LOTS, 3 RESERVES

A SUBDIVISION CONTAINING 481.98 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 NO. 2019113827, MONTGOMERY COUNTY

OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

JULY 2021

Namken, Inc.
 P.O. Box 1558, New Mexico, TX 77358
 TAPES 9 FPM NO. 1034090
 936-661-3325

Job No. 21-001

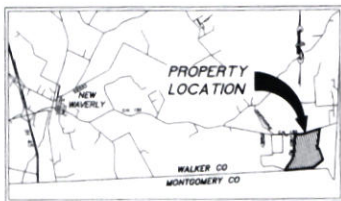
SHEET 20 OF 20

LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-5/4" blue plastic cap end
- "MICHAEL A. NAMKEN RPLS 6533", UNLESS otherwise noted
- Floodway Areas in Zone AE
- Flood Zone AE
- C/N Clerk's File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- Mn. FF Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWCE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX

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7	Block 2	17	Blocks 1, 4 and 5
8	Blocks 2 and 3	18	Blocks 4, 5, 7 and 8
9	Blocks 1 and 3	19	Blocks 4, 8, and 9
10	Blocks 2 and 3	20	Blocks 1 and 8



VICINITY MAP
Not To Scale

- LEGEND**
- CFN Clerk's File Number
 - Min. FF Minimum Finished Floor Elevation
 - MCDPW Montgomery County Official Public Records
 - PLU & DE Public Utility Easement & Drainage Easement
 - SHEDD San Houston Electric Cooperative
 - 20' when vegetation buffer
 - WVDE Variable Width Private Drainage Easement
 - WCDPW Walker County Official Public Records
 - WCDPW Walker County Official Public Records
 - WCDPW Walker County Official Public Records
 - WCDPW Walker County Plat Records
 - Set 5/8" iron Rod w/cap marked "MICHAEL A. NAMKEN"
 - WPLS 8533" UNLESS otherwise noted
 - Found 5/8" iron Rod w/cap marked "SMC WPLS 1962"
 - Found Monument, size and type as noted
 - Block Number

DEER FOREST SUBDIVISION SHEET INDEX



CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF WALKER

I, Kari A. French, County Clerk in and for Walker County, do hereby certify that this plat with its certificates of authentication was filed for record in my office

the 26th day of May, 2021

in the Plat Records of Walker County in

Volume 7 Page 74-A & 75-B

By Kari A. French, Deputy Clerk
Kari A. French, County Clerk
Walker County, Texas

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

INDIVIDUAL SHEETS INDEX			
SHEET	CONTENTS	SHEET	CONTENTS
1	Vicinity Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certifications, Dedications and Notes	11	Blocks 1, 2, 4 and 6
3	Blocks 1, 2 and 4	12	Block 4, Detail View "A"
4	Blocks 2, 3 and 4	13	Block 5, Detail View "B"
5	Blocks 3 and 4	14	Blocks 1 and 5
6	Blocks 1, 2 and 6	15	Blocks 1 and 5
7	Blocks 2, 3 and 6	16	Blocks 4, 5 and Detail View "C"
8	Blocks 2, 3 and 4	17	Line and Curve Tables
9	Block 1		

THIS SHEET - NOT TO SCALE
PLAT OF
DEER FOREST SUBDIVISION
CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

A SUBDIVISION CONTAINING 431.19 ACRES OF LAND,
BEING ALL OF THE CALLED 200.00 ACRES
DESCRIBED AS TRACT 1 AND BEING ALL OF THE
CALLED 231.291 ACRES DESCRIBED AS TRACT 2 IN
A DEED TO REPUBLIC GRAND RANCH, LLC
RECORDED UNDER INSTRUMENT NUMBER 67806,
OFFICIAL RECORDS, WALKER COUNTY, TEXAS,
JOSE MARIA DE LA GARZA GRANT, A-22,
WALKER COUNTY, TEXAS

MAY 2021

NAMKEN, INC.
P O Box 1158, New Waverly, TX 77358
TBP&L's Firm No 10194090
936-661-3325

Job No. 20-001

SHEET 1 OF 17

OWNER'S ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF WALKER

I, Republic Grand Ranch, LLC, owner of the land shown on this plat, and designated as the DEER FOREST SUBDIVISION in Walker County, Texas, and whose name is subscribed hereto, hereby dedicates to the public forever the use of all streets, parks, utility easements, and to the use of the DEER FOREST SUBDIVISION Property Owners Association all public places shown hereon for the purpose and consideration therein expressed.

Republic Grand Ranch, LLC

Jacob Slott
BY JACOB SLOTT, AUTHORIZED AGENT

OWNER / DEVELOPER

REPUBLIC GRAND RANCH LLC,
Jacob Slott, Authorized Agent
P.O. Box 381
New Waverly, TX 77358
936-661-5964
jacob.slott@slottconstruction.com

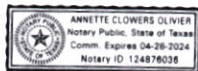
NOTARY PUBLIC ACKNOWLEDGEMENT

STATE OF TEXAS,
COUNTY OF WALKER

This instrument was acknowledged before me

Dated this 20th day of May
2021 by JACOB SLOTT

Annette C. Olivier
Notary Public for State of Texas



CERTIFICATION BY THE ENGINEER

STATE OF TEXAS,
COUNTY OF WALKER

I, Brett Wyant, Registered Professional Engineer No. 118933 in the State of Texas, hereby certify that proper engineering consideration has been given to this plat regarding design, construction and layout of public improvements.

Brett Wyant
Brett Wyant
Registered Professional Engineer
Texas Registration No. 118933

Spear Point Engineering, LLC
Spear Point Engineering, LLC
TBPELS Firm No. 18904
204 W. Montgomery St.
Willis, TX 77378



APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Walker County, Texas has approved the Plat of DEER FOREST SUBDIVISION

DATED this 24th day of May 2021

Danny Pierce
County Judge

Danny Ruykendaal
Commissioner, Precinct 1

Ronnie White
Commissioner, Precinct 2

Bill Daugette
Commissioner, Precinct 3

Jimmy Henry
Commissioner, Precinct 4

GENERAL NOTES

- The purpose of this plat is to create DEER FOREST SUBDIVISION, being all of the called 200.00 acres described as Tract 1 and all of the called 231.291 acres described as Tract 2 recorded under instrument Number 67806, Official Records, Walker County, Texas (WCOR), and to dedicate the fully (80) foot road rights-of-way with adjacent twenty (20) foot Public Utility Easements (PUE) and the adjacent Drainage Easements (DE) as shown herein to the public.
- Boundaries, Distances, Coordinates, Elevations and Acreages herein are referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83 (2011), NAVD 88 (2000) and based upon a 2.5" (2000) east-westing and 3.0" (2000) north-southing. Distances are U.S. Survey Feet (5280) and may be converted to metric (meters) (surface) by dividing by a Combined Scale Factor of 0.99999. Please review the record instruments cited herein to compare the survey bearings and distances with the record calls.
- Based on the graphic location of the available GIS data from the Federal Emergency Management Agency (FEMA) Flood Map Service Center (<https://msc.fema.gov/portals/search/>) superimposed upon the subject tract, and based on the FEMA Flood Insurance Rate Maps, revised 16 August 2017, Walker County #481042, map No. 4847102500, Flood (FIRM), this property is located within:
 - Flood Hazard Zone "X" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain).
- Map No. 4847102500, Flood (FIRM) shows this property is located within:
 - Flood Hazard Zone "X" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain).
- Based upon the "Deer Forest Development Drainage Impact Analysis" (dated by Billy Aryst, P.E. #109689 on 1/20/2021) by FF Engineering, Inc. a portion of this property is located within the modeled 100 year flood plain. A copy of this report is on file at the Walker County Planning & Development Department. This Flood Statement shall create no liability on the part of Namken, Inc. or the undersigned.
- All acreage quantities shown on this survey are based upon the mathematical closure of the boundary courses and distances. Said quantities do not indicate the positional accuracy of the boundary monumentation.
- All exterior boundary lines of this subdivision which are common with the original survey boundary are monumented on the ground with iron rods or other stable material.
- The Owner(s) hereby certify that prior to completion of this subdivision and where physically possible at lot corners, single points and points of curvature of the lots located within the subdivision will be monumented on the ground with 5/8" iron rods with 1-1/4" diameter blue plastic caps marked "WCOR", and with the exception that they are NOT set in the center of roadway nor at roadway intersections and points of curvature, as the symbols herein may represent monuments shown herein as found on existing monuments, unless noted as reference only.
- All dwellings in the subdivision shall be constructed of concrete or masonry of owner's expense and shall be completed within twelve (12) months from the setting of forms for the foundation or subgrade or structure. Further, the driveway shall be constructed of concrete or masonry of owner's expense and shall be completed within twelve (12) months from the setting of forms for the foundation or subgrade or structure. Further, the driveway shall be constructed of concrete or masonry of owner's expense and shall be completed within twelve (12) months from the setting of forms for the foundation or subgrade or structure.
- All lot setbacks shall be in accordance with the recorded covenants, conditions and restrictions for DEER FOREST SUBDIVISION:
 - 65' (sixty-five foot) Front Building Line along road rights-of-way for corner lots, front being defined as the direction of the front door.
 - 20' (twenty foot) Side Building Line of all lots, except as noted below.
 - 10' (ten foot) Side Building Line of all lots, for corner lots a 30' (thirty foot) Side Building Line, except as noted below.
 - All lots adjoining State Highway 150 (S.H. 150) and Farm-to-Market 1087 (F.M. 1087) have a 75' (seventy-five foot) Side Building Line, 10' Side Building Line and a 21' (twenty-one foot) Rear Building Line, above corner lot setbacks apply.
- There is a twenty foot (20') vegetative buffer at the rear of the lots that adjoin private property and the Detention areas as shown herein. Within the twenty foot (20') vegetative buffer, no improvements shall be made and cutting of all natural vegetation is prohibited. See the Covenants, Conditions and Restrictions for DEER FOREST SUBDIVISION, which will be recorded of Public Record after the acceptance and recording of this plat.
- All Lots shown herein will be subject to Covenants, Conditions and Restrictions for DEER FOREST SUBDIVISION, which will be recorded of Public Record after the acceptance and recording of this Plat of DEER FOREST SUBDIVISION.
- The roadway named "TODDIE RUN" encompasses the thirty foot (30') wide easement recorded in Vol. 182, pg. 426, WCOR.
- The plat is shown herein as based on evidence on the ground at the time of the previous survey of the plat 431.19 acre tract (completed 01/31/2020), and may not represent the actual easement locations.
- Lots that are adjacent to S.H. 150 and F.M. 1087 are prohibited from accessing S.H. 150 and F.M. 1087 without TADOT approval.

SANITARY SEWER SERVICE

Each lot will be required to utilize onsite sanitary sewer facilities (OSSF), for sanitary sewer service in accordance with state and local codes and regulations. The Lot Owner is not prohibited from connecting to a public sanitary sewer collection system if service becomes available at some time in the future.

DRAINAGE AND IMPERVIOUS COVER

- Finished floor elevations shall be a minimum of twelve (12) inches above finished adjacent grade or elevated to the following information, whichever is greater: Block 1, Lots 25-35, 54-66, Block 2, Lots 5-7, 14-17, 23-32 and 44-46, Reserve C, Block 3, Lots 29-32, 43-50 and 62-64, Reserve D, Block 5, Lots 20, 21 and Reserve E, which have specific individual minimum finished floor elevations. The minimum finished floor elevations shown on this plat are expressed (18) inches above the adjacent base flood elevation as determined by the "Deer Forest Development Drainage Impact Analysis" (dated by Billy Aryst, P.E. #109689 on 1/20/2021) by FF Engineering, Inc. A copy of this report is on file at the Walker County Planning & Development Department.
- The landowner is prohibited from constructing any improvements within any "Variable Width Private Drainage Easement" on this plat. Landowner may clear underbrush and establish lot lines within these "Variable Width Private Drainage Easements" but no vertical improvements/development is allowed, except for driveways, culverts, and/or drainage improvements necessary for access to the lots. Fencing is allowed within the property lines allocated within these "Variable Width Private Drainage Easements" but with provisions not to impede the flow of storm water within the "Variable Width Private Drainage Easements".
- "Variable Width Private Drainage Easements" shall be maintained by lot owners and/or home owners association and shall not be maintained by Walker County.
- The natural drainage channels (whether or not they are within a delineated "DE" or "WDE") that are located within various lots and unincorporated reserve areas throughout this subdivision may not be altered in any way. Landowner may clear underbrush and establish lot lines within these natural drainage channels but no vertical improvements/development is allowed within the bounds of these natural drainage channels. Fencing is allowed within the property lines allocated within these natural drainage channels with provisions not to impede the flow of storm water within the drainage channels.
- All lots and unincorporated reserve areas within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place or proposed at the time of development which are a part of or necessary to the public waste infrastructure or public system of drainage in addition to all of natural flows of water entering onto or crossing the property. Local approval or consent must be given by the Walker County Engineer in writing prior to alteration of the drainage infrastructure herein described. It is the responsibility of the lot owner to comply with any regulations or limitations noted and permits issued by the Walker County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.
- All Drainage Easements labeled as "DE" are "typical right-of-way" locations of which are better defined on each sheet hereafter or within Detail Views as needed.
- Based on calculations made from available data, by the undersigned engineer, the land owner may construct impervious cover (structures, driveways, sidewalks, etc.) improvements up to a "Total square footage" equal to ten (10) percent of the total lot area. If the Lot Owner desires to exceed the area of impervious cover established for each lot as herein described, further study will be necessary and "on-lot" storm water detention facilities may be required to accommodate the additional impervious cover. The study and possible incorporation of storm water detention facilities shall be submitted to the Walker County Engineer for approval and must comply with all current local, state and federal regulations, including the Walker County Subdivision Regulations.

PUBLIC EASEMENT NOTES

- All public easements located on the plat are hereby dedicated to be used by the public forever. Any public utility, including Walker County, shall have the right always of ingress and egress to and from and upon these easements for construction, reconstruction, inspection, gathering, maintaining and adding to or removing of all parts of its respective system without the necessity of any type of getting the permission of the property owner. Any public utility, including Walker County, shall have the right to move and keep moved all or part of any building, fences, trees, shrubs, other growth or improvements that in any way interfere with the construction, maintenance, or efficiency of its respective system or any of the easements shown on the plat. Neither Walker County nor any public utility shall be responsible for replacing or reimbursing the property owner due to removal of or relocation of any obstructions in the public easements.

A twenty (20) foot public utility easement (PUE) is established adjacent to all road rights-of-way.

DEER FOREST APPROVED VARIANCES

- December 7, 2020, Walker County Subdivision Regulations Section 5, Item 5.2 - Approved Variance for Lots 21-27, 35, 36, Block 1, Lots 14-16, 44, 45, Block 2, Lots 18-19, Block 3, Lots 28-29, 46, Block 4, to meet the minimum road frontage requirement.
- June 8, 2020, Walker County Subdivision Regulations Section 5, Item 5.3 - Approved for the lot depth to exceed the road frontage 3 to 1 ratio.
- December 7, 2020, Walker County Subdivision Regulations Section 5, Item 5.4 - Approved for the placement of utilities and associated appurtenances within the Walker County rights-of-way.
- December 7, 2020, Walker County Subdivision Regulations Section 5, Item 5.5 - Approved for the roadside ditch slope steepness.
- March 1, 2021, Walker County Subdivision Regulations Section 5, Item 6.2 - Approved for the roadway grade to vary from the minimum and maximum percentages.

CERTIFICATION BY THE SURVEYOR

I, Michael A. Namken, certify that this plat represents a survey made on the ground under my supervision and that all corners and monuments are as shown herein.

Michael A. Namken
Michael A. Namken
Registered Professional Land Surveyor No. 6533



PLAT OF DEER FOREST SUBDIVISION

CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

A SUBDIVISION CONTAINING 431.19 ACRES OF LAND,

BEING ALL OF THE CALLED 200.00 ACRES

DESCRIBED AS TRACT 1 AND BEING ALL OF THE

CALLED 231.291 ACRES DESCRIBED AS TRACT 2 IN

A DEED TO REPUBLIC GRAND RANCH, LLC

RECORDED UNDER INSTRUMENT NUMBER 67806,

OFFICIAL RECORDS, WALKER COUNTY, TEXAS,

JOSE MARIA DE LA GARZA GRANT, A-22,

WALKER COUNTY, TEXAS

MAY 2021

NAMKEN, INC.
P.O. Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10184090
936-661-3325

Job No. 20-001

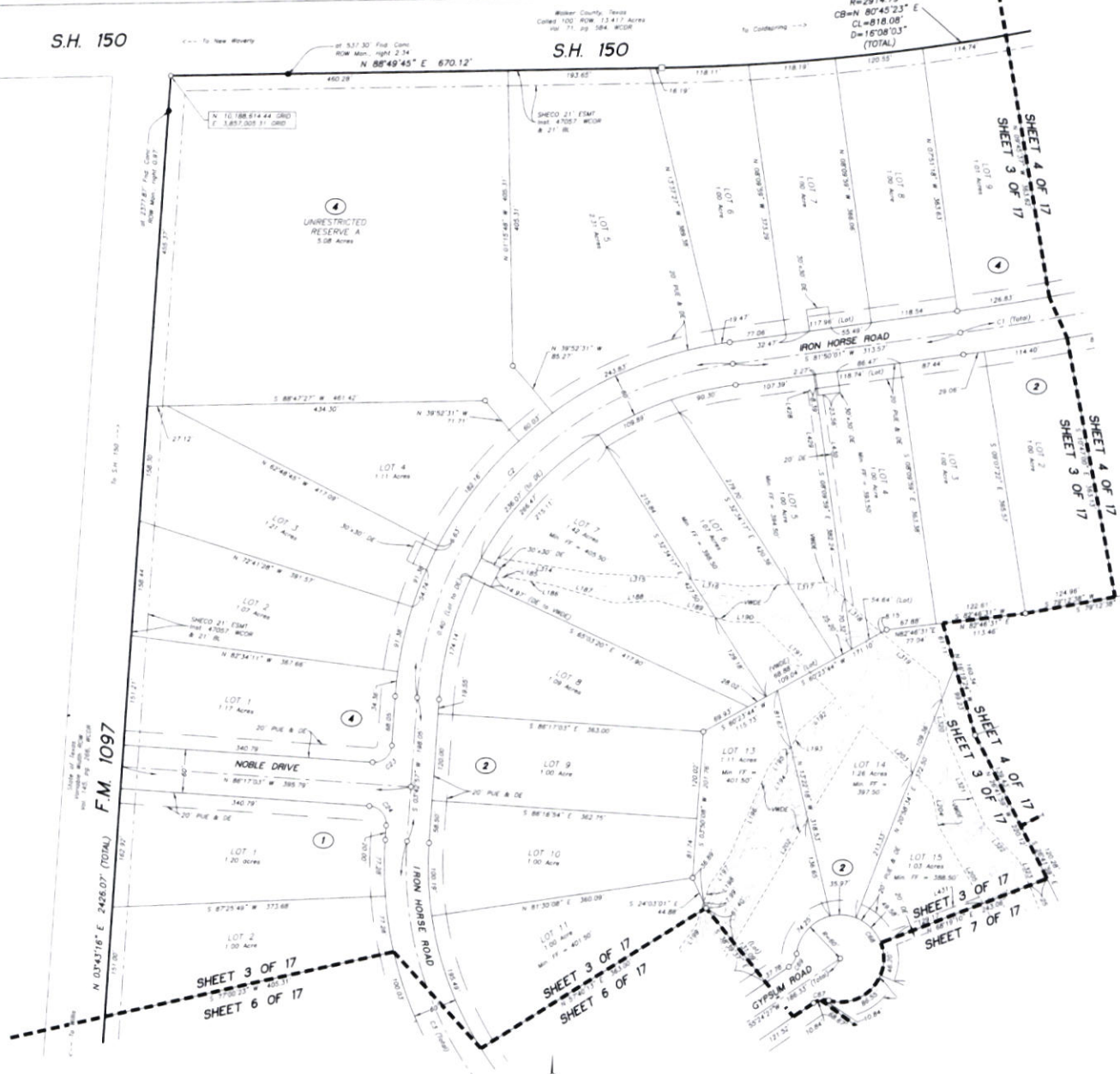
SHEET 2 OF 17

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

INDIVIDUAL SHEETS INDEX			
SHEET	CONTENTS	SHEET	CONTENTS
1	Utility Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certifications, Dedications and Notes	11	Blocks 1, 2, 4 and 6
3	Blocks 1, 2 and 4	12	Block 4, Detail View "A"
4	Blocks 2, 3 and 4	13	Block 5, Detail View "B"
5	Blocks 3 and 4	14	Blocks 1 and 5
6	Blocks 1, 2 and 6	15	Blocks 1 and 5
7	Blocks 2, 3 and 6	16	Blocks 4, 5 and Detail View "C"
8	Blocks 2, 3 and 4	17	Line and Curve Tables
9	Block 1		

S.H. 150

S.H. 150



LEGEND

- 174 Clark's File Number
 Min. FT Minimum Finished Floor Elevation
 Modified 100 Year Floodplain, See Note 3
 MCDPR Montgomery County Official Public Records
 PUE & DE Public Utility Easement & Driveway Easement
 SNECO San Houston Electric Cooperative
 20' Wide Vegetative Buffer
 WIDE Variable Width Private Driveway Easement
 WCDR Walker County Deed Records
 WCDPR Walker County Official Public Records
 WCDR Walker County Official Public Records
 WCDPR Walker County Official Public Records
 Set 5/8" Iron Rod w/loop marked "MICHAEL A. NAMKEN"
 RPLS 6533' UNLESS OTHERWISE NOTED
 Found 5/8" Iron Rod w/loop marked "TMC RPLS 1362"
 Found Monument, size and type as noted
 Block Number

FOR TAX PURPOSES
 THIS PLAT COMPLIES
 WITH SECTION 12.002
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INDIVIDUAL SHEETS INDEX

SHEET	CONTENTS	SHEET	CONTENTS
1	Neighborhood Map, Sheet Number Layout	15	Blocks 1 and 6
2	Certifications, Dedications and Notes	16	Blocks 1, 2, 4 and 6
3	Blocks 1, 2 and 4	17	Block 4, Detail View "A"
4	Blocks 2, 3 and 4	18	Block 5, Detail View "B"
5	Blocks 3 and 4	19	Blocks 1 and 5
6	Blocks 1, 2 and 6	20	Blocks 1 and 5
7	Blocks 2, 3 and 6	21	Blocks 4, 5 and Detail View "C"
8	Blocks 2, 3 and 4	22	Line and Curve Tables
9	Block 1		

PLAT OF DEER FOREST SUBDIVISION

CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

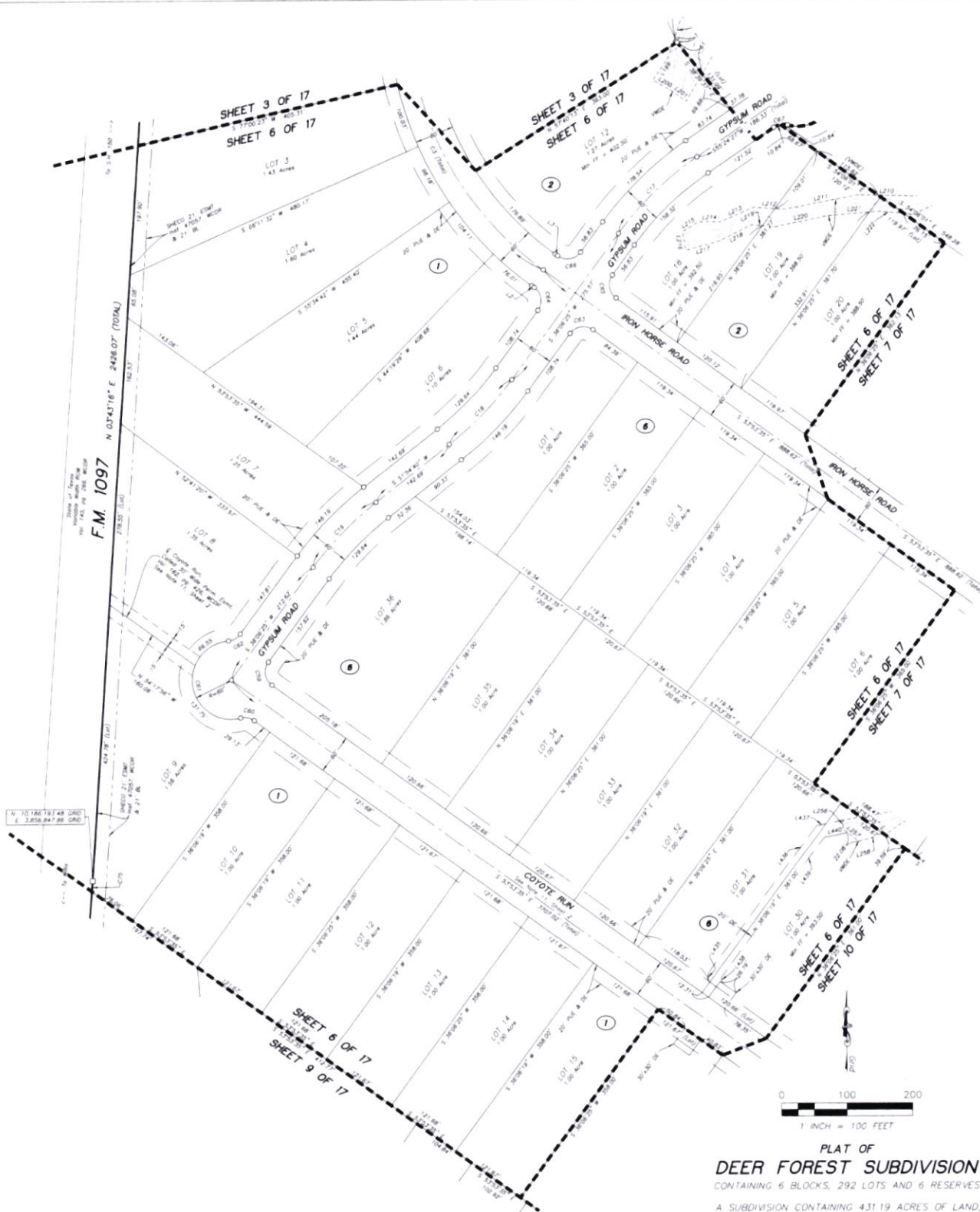
A SUBDIVISION CONTAINING 431.19 ACRES OF LAND,
 BEING ALL OF THE CALLED 200.00 ACRES
 DESCRIBED AS TRACT 1 AND BEING ALL OF THE
 CALLED 231.291 ACRES DESCRIBED AS TRACT 2 IN
 A DEED TO REPUBLIC GRAND RANCH, LLC
 RECORDED UNDER INSTRUMENT NUMBER 67806,
 OFFICIAL RECORDS, WALKER COUNTY, TEXAS,
 JOSE MARIA DE LA GARZA GRANT, A-22,
 WALKER COUNTY, TEXAS

MAY 2021

NAMKEN, INC.
 P O Box 1158, New Waverly, TX 77358
 TPELS Firm No. 10194090
 936-661-3325

Job No. 20-001

SHEET 3 OF 17



FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
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CODE

- LEGEND**
- CLN Clerk's File Number
 - Min. FF Minimum Finished Floor Elevation
 - Model 100 Year Floodplain, See Note 3
 - Montgomery County Official Public Records
 - Public Utility Easement & Drainage Easement
 - San Houston Electric Cooperative
 - 20' Wide Vegetative Buffer
 - VRGE Variable Width Private Drainage Easement
 - WCSR Walker County Seal Records
 - WCSR Walker County Official Public Records
 - WCSR Walker County Official Records
 - WCSR Walker County Plat Records
 - Set 5/8" Iron Rod w/ cap marked "MICHAEL A. NAMKEN"
 - RPLS 65337, UNLESS OTHERWISE NOTED
 - Found 5/8" Iron Rod w/ cap marked "SMC RPLS 1962"
 - Found Monument, size and type as noted
 - Block Number

INDIVIDUAL SHEETS INDEX			
SHEET	CONTENTS	SHEET	CONTENTS
1	Vicinity Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certifications, Dedications and Notes	11	Blocks 1, 2, 4 and 6
3	Blocks 1, 2 and 4	12	Block 4, Detail View "A"
4	Blocks 2, 3 and 4	13	Block 5, Detail View "B"
5	Blocks 3 and 4	14	Blocks 1 and 5
6	Blocks 1, 2 and 6	15	Blocks 1 and 5
7	Blocks 2, 3 and 6	16	Blocks 4, 5 and Detail View "B"
8	Blocks 2, 3 and 4	17	Line and Curve Tables
9	Block 1		

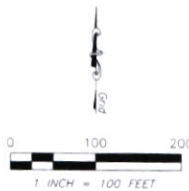
PLAT OF
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A SUBDIVISION CONTAINING 431.19 ACRES OF LAND,
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WALKER COUNTY, TEXAS

MAY 2021

NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBRPLS Form No. 10194090
936-661-3325

Job No. 20-001

SHEET 6 OF 17



CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

MAY 2021

NAMKEN, INC.
P O Box 1158, New Waverly, TX 77358
TBPELS Firm No. 10194090
936-661-3325

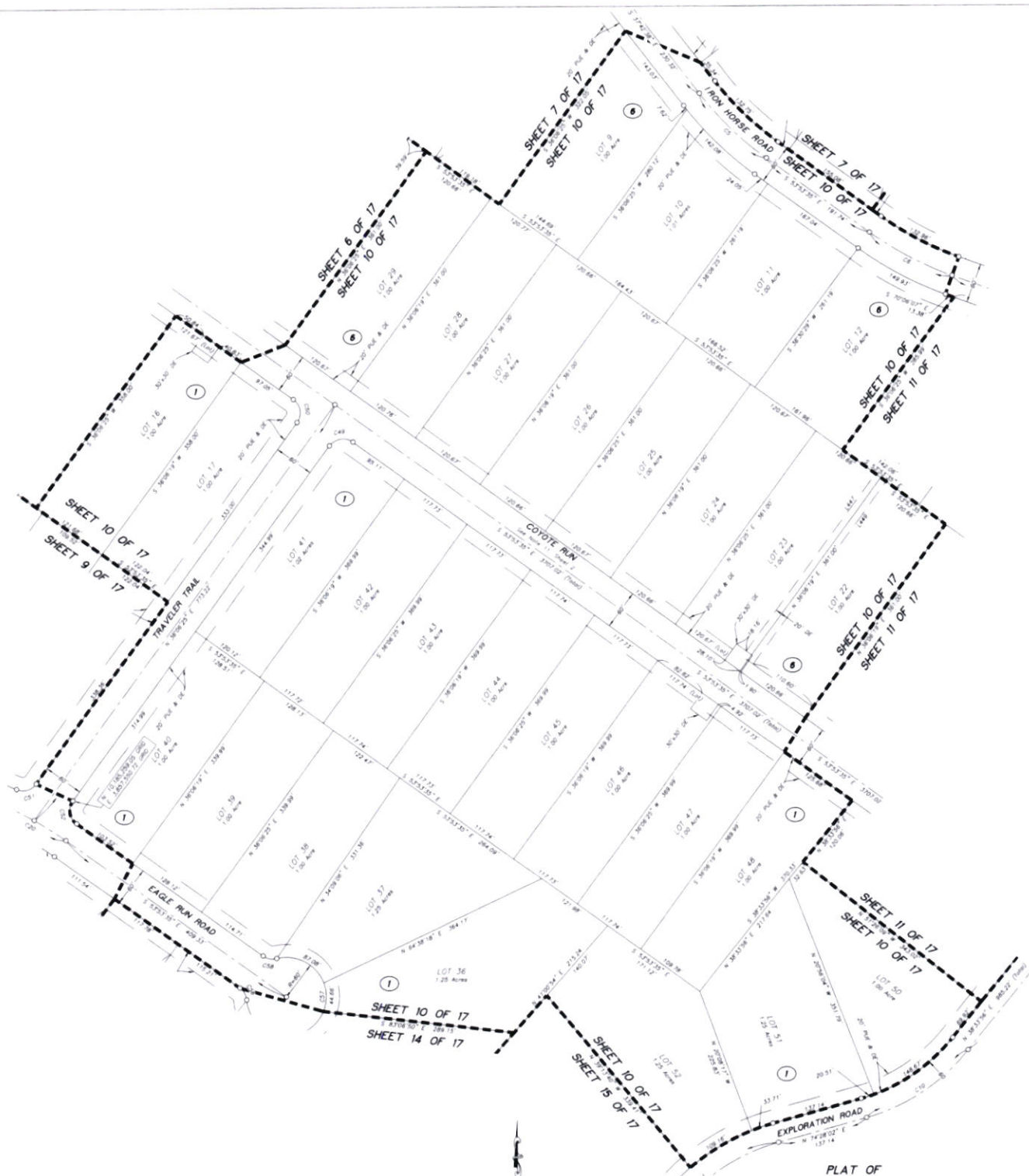
Job No. 20-001

SHEET 9 OF 17

0.00 Clerk's V. Floor Elevator
 Min. 12 Minimum Finished Floor Elevation
 Modified 100 Year Floodplain, See Note 3
 MCDPR Mortgage, Early Official Public Records
 PUE & DE Public Utility Easement & Drainage Easement
 SNECD San Neutroin Electric Cooperative
 20' Minimum Vegetative Buffer
 WCDR Water Right, Surface Drainage Easement
 WCDPR Walker County Official Public Records
 WCDPR Walker County Official Public Records
 WCDPR Walker County Public Records
 Set 5/8" Iron Rod w/c/p marked "MCHAL & MACHIN"
 RPLS 6533" UNLESS otherwise noted
 Found 5/8" Iron Rod w/c/p marked "SMC RPLS 1962"
 Found Monument, size and type as noted
 Block Number

FOR TAX PURPOSES
THIS PLAT COMPLIES
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INDIVIDUAL SHEETS INDEX			
SHEET	CONTENTS	SHEET	CONTENTS
1	Vicinity Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certification, Description and Notes	11	Blocks 2, 4 and 6
3	Blocks 1, 2 and 4	12	Block 4, Detail View "A"
4	Blocks 2, 3 and 4	13	Block 5, Detail View "B"
5	Blocks 3 and 4	14	Blocks 1 and 5
6	Blocks 1, 2 and 6	15	Blocks 1 and 5
7	Blocks 2, 3 and 6	16	Blocks 4, 5 and Detail View "C"
8	Blocks 2, 3 and 4	17	Line and Curve Tables
9	Block 1		



LEGEND

DN Clerk's File Number

Min. FF Minimum Finished Floor Elevation

WATER 100 Year Floodplain, See Note 3

WCDM Montgomery County Official Public Records

PUE & DE Public Utility Easement & Drainage Easement

SHEDD Sam Houston Electric Cooperative

20' Wide Vegetative Buffer

Variable Width Private Drainage Easement

WCDM Walker County Deed Records

WCDM Walker County Official Public Records

WCDM Walker County Official Records

WCDM Walker County Plat Records

Set 5/8" iron Rod w/cap marked "MICHAEL A. NAMKEN"

APLS 65.53" UNLESS OTHERWISE NOTED

Found 5/8" iron Rod w/cap marked "SAC APLS 1982"

Found Monument, size and type as noted

Block Number

FOR TAX PURPOSES
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1	Vicinity Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certifications, Dedications and Notes	11	Blocks 1, 2, 4 and 6
3	Blocks 1, 2 and 4	12	Block 4 Detail View "A"
4	Blocks 2, 3 and 4	13	Block 5 Detail View "B"
5	Blocks 3 and 4	14	Blocks 1 and 5
6	Blocks 1, 2 and 6	15	Blocks 1 and 5
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9	Block 1		

**PLAT OF
DEER FOREST SUBDIVISION**

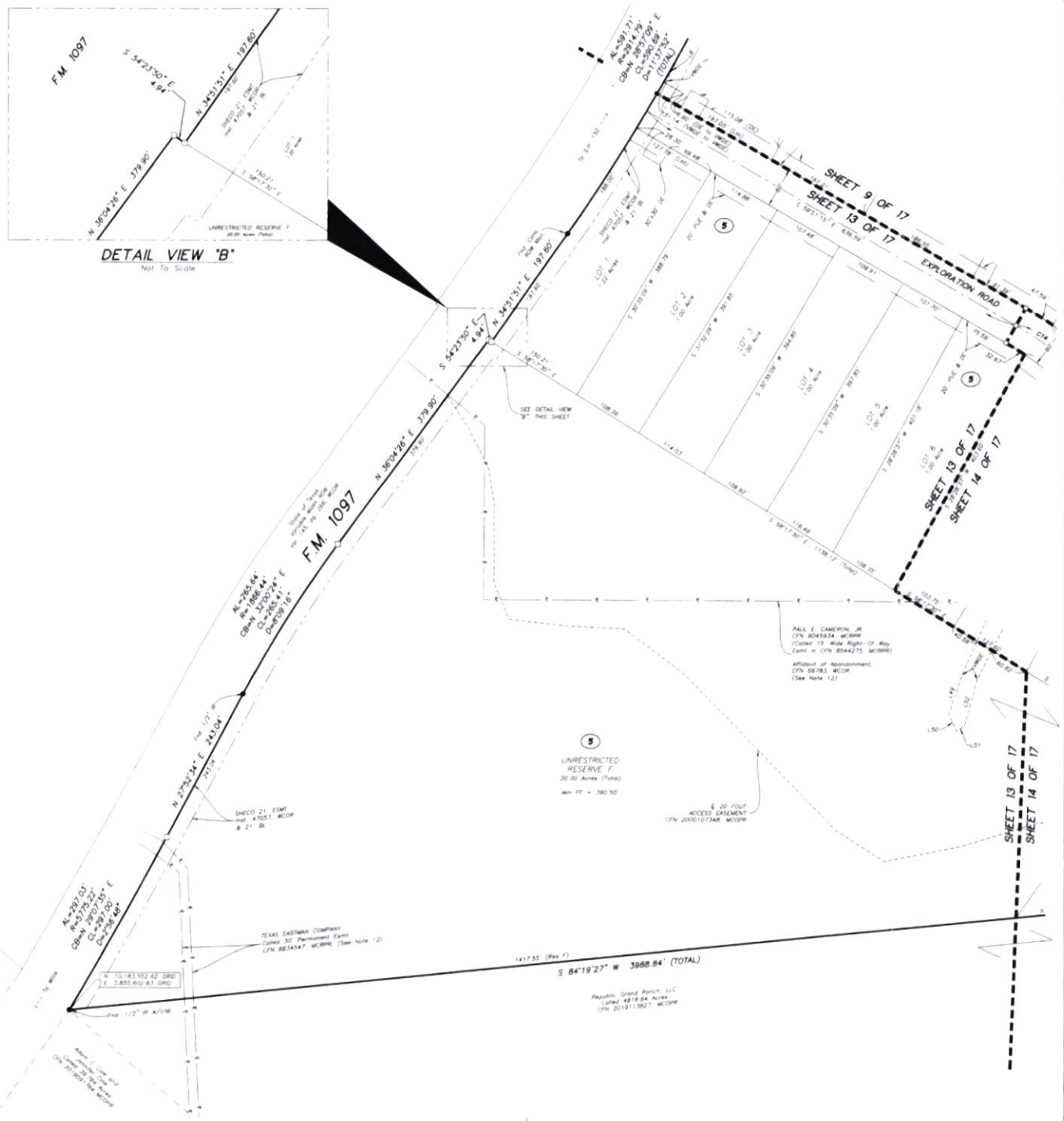
CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

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JOSE MARIA DE LA GARZA GRANT, A-22,
WALKER COUNTY, TEXAS

MAY 2021
NAMKEN, INC.
P O Box 1158, New Waverly, TX 77358
TBRPLS Form No. 10194090
936-661-3325

Job No. 20-001

SHEET 10 OF 17



- LEGEND**
- CPN Clerk's File Number
 - Min. FF Minimum Finished Floor Elevation
 - MCORP Modified 100 Year Floodplain, See Note 3
 - MCORP Montgomery County Official Public Records
 - PUE & DE Public Utility Easement & Drainage Easement
 - SHECO 20' Wide Vegetative Buffer
 - WVDE Variable Width Private Drainage Easement
 - WVDE Walker County Deed Records
 - WVDE Walker County Official Public Records
 - WVDE Walker County Plat Records
 - WVDE Walker County Plat Records
 - Set 5/8" iron Rod w/cap marked "MICHAEL A. NAMKEN"
 - APLS 6533, UNLESS otherwise noted
 - Found 5/8" iron Rod w/cap marked "SMC APLS 1962"
 - Found Monument, size and type as noted
 - Block Number

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
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CODE

INDIVIDUAL SHEETS INDEX			
SHEET	CONTENTS	SHEET	CONTENTS
1	Survey Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certifications, Dedications and Notes	11	Blocks 1, 2, 4 and 6
3	Blocks 1, 2 and 4	12	Block 4, Detail View "A"
4	Blocks 2, 3 and 4	13	Block 5, Detail View "B"
5	Blocks 3 and 4	14	Blocks 1 and 5
6	Blocks 1, 2 and 6	15	Blocks 1 and 5
7	Blocks 2, 3 and 6	16	Blocks 4, 5 and Detail View "C"
8	Blocks 2, 3 and 4	17	Line and Curve Tables
9	Block 1		

PLAT OF DEER FOREST SUBDIVISION CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

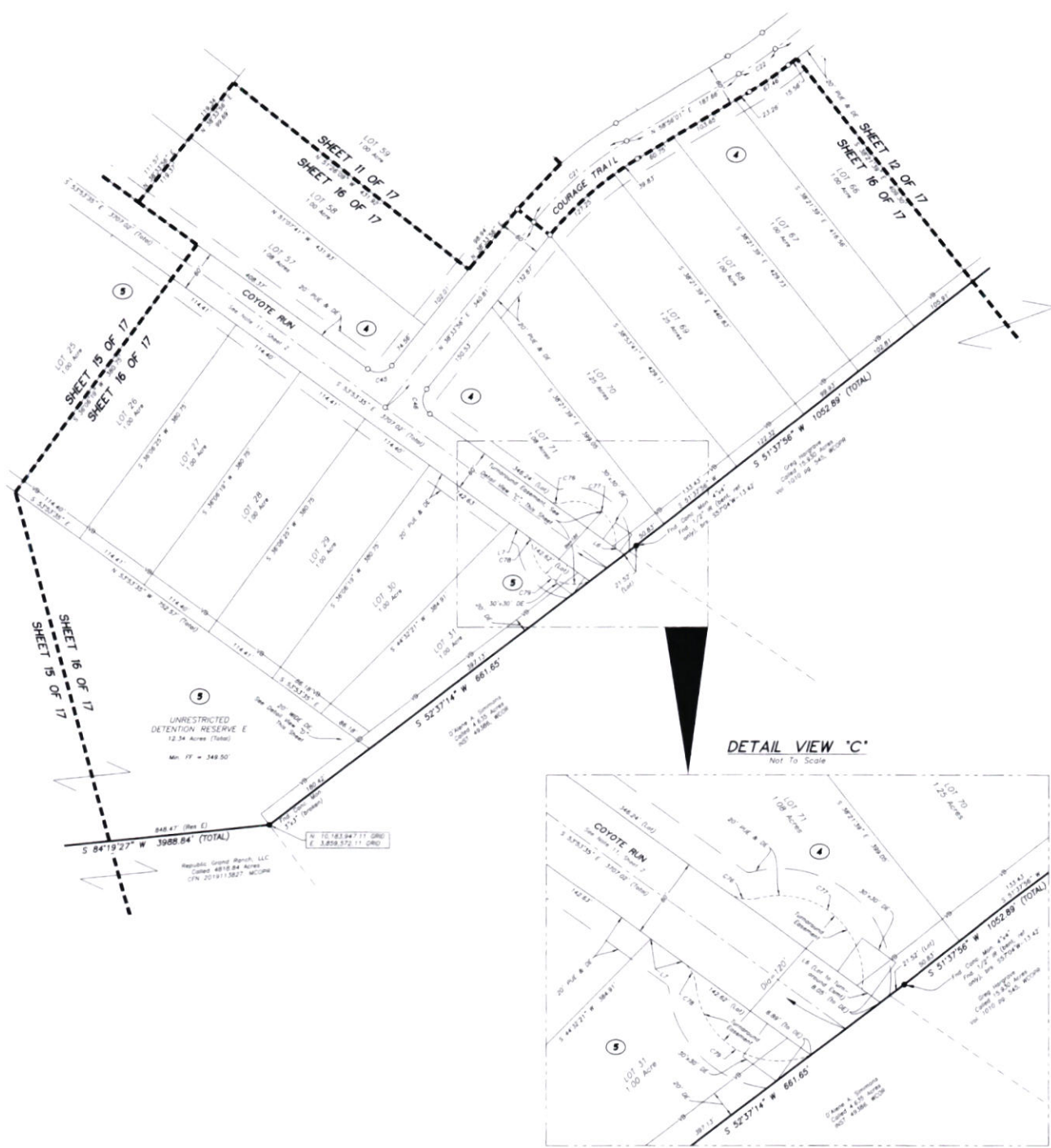
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MAY 2021

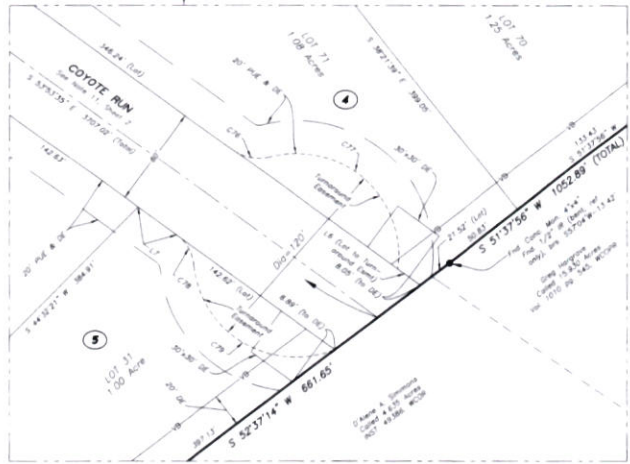
NAMKEN, INC.
P. O. Box 1158, New Waverly, TX 77358
TBPEL's Firm No 10194090
936-661-3325

Job No 20-001

SHEET 13 OF 17



DETAIL VIEW 'C'
Not To Scale



FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

- LEGEND**
- CPN Clerk's File Number
 - Min. FF Minimum Finished Floor Elevation
 - 100 Year Floodplain See Note 3
 - MCORP Montgomery County Official Public Records
 - PLU & DE Public Utility Easement & Drainage Easement
 - SHEDS Sun Mountain Electric Cooperative
 - 20' Wide vegetative Buffer
 - Variable Width Private Drainage Easement
 - WCCR Walker County Deed Records
 - WCCR Walker County Official Public Records
 - WCCR Walker County Official Records
 - WCCR Walker County Plat Records
 - Set 5/8" Iron Rod w/ top marked "MICHAEL A. NAMKEN"
 - RPLS 85.11" UNLESS OTHERWISE NOTED
 - Found 5/8" Iron Rod w/ top marked "L.M.C. RPLS 1962"
 - Found Monument, size and type as noted
 - Block Number

INDIVIDUAL SHEETS INDEX			
SHEET	CONTENTS	SHEET	CONTENTS
1	Vicinity Map, Sheet Number Layout	10	Blocks 1 and 6
2	Certifications, Dedications and Notes	11	Blocks 1, 2, 4 and 6
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4	Blocks 2, 3 and 4	13	Block 5, Detail View "B"
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6	Blocks 1, 2 and 6	15	Blocks 1 and 5
7	Blocks 2, 3 and 6	16	Block 4, 5 and Detail View "C"
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**PLAT OF
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NAMKEN, INC.
P O Box 1158, New Waverly, TX 77358
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936-661-3325

Job No. 20-001

DEER FOREST SUBDIVISION LINE & CURVE TABLES

RIGHTS-OF-WAY AND LOT LINE TABLE

CURVE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	530.71	S 47°14'44" W	530.71	53°10'44"
C2	681.71	S 47°46'59" W	681.71	53°10'44"
C3	500.71	N 2°05'19" W	481.82	53°10'44"
C4	141.45	S 47°46'59" W	141.45	53°10'44"
C5	141.45	S 47°46'59" W	141.45	53°10'44"
C6	141.45	S 47°46'59" W	141.45	53°10'44"
C7	141.45	S 47°46'59" W	141.45	53°10'44"
C8	141.45	S 47°46'59" W	141.45	53°10'44"
C9	141.45	S 47°46'59" W	141.45	53°10'44"
C10	141.45	S 47°46'59" W	141.45	53°10'44"
C11	141.45	S 47°46'59" W	141.45	53°10'44"
C12	141.45	S 47°46'59" W	141.45	53°10'44"
C13	141.45	S 47°46'59" W	141.45	53°10'44"
C14	141.45	S 47°46'59" W	141.45	53°10'44"
C15	141.45	S 47°46'59" W	141.45	53°10'44"
C16	141.45	S 47°46'59" W	141.45	53°10'44"
C17	141.45	S 47°46'59" W	141.45	53°10'44"
C18	141.45	S 47°46'59" W	141.45	53°10'44"
C19	141.45	S 47°46'59" W	141.45	53°10'44"
C20	141.45	S 47°46'59" W	141.45	53°10'44"
C21	141.45	S 47°46'59" W	141.45	53°10'44"
C22	141.45	S 47°46'59" W	141.45	53°10'44"
C23	141.45	S 47°46'59" W	141.45	53°10'44"
C24	141.45	S 47°46'59" W	141.45	53°10'44"
C25	141.45	S 47°46'59" W	141.45	53°10'44"
C26	141.45	S 47°46'59" W	141.45	53°10'44"
C27	141.45	S 47°46'59" W	141.45	53°10'44"
C28	141.45	S 47°46'59" W	141.45	53°10'44"
C29	141.45	S 47°46'59" W	141.45	53°10'44"
C30	141.45	S 47°46'59" W	141.45	53°10'44"
C31	141.45	S 47°46'59" W	141.45	53°10'44"
C32	141.45	S 47°46'59" W	141.45	53°10'44"
C33	141.45	S 47°46'59" W	141.45	53°10'44"
C34	141.45	S 47°46'59" W	141.45	53°10'44"
C35	141.45	S 47°46'59" W	141.45	53°10'44"
C36	141.45	S 47°46'59" W	141.45	53°10'44"
C37	141.45	S 47°46'59" W	141.45	53°10'44"
C38	141.45	S 47°46'59" W	141.45	53°10'44"
C39	141.45	S 47°46'59" W	141.45	53°10'44"
C40	141.45	S 47°46'59" W	141.45	53°10'44"
C41	141.45	S 47°46'59" W	141.45	53°10'44"
C42	141.45	S 47°46'59" W	141.45	53°10'44"
C43	141.45	S 47°46'59" W	141.45	53°10'44"
C44	141.45	S 47°46'59" W	141.45	53°10'44"
C45	141.45	S 47°46'59" W	141.45	53°10'44"
C46	141.45	S 47°46'59" W	141.45	53°10'44"
C47	141.45	S 47°46'59" W	141.45	53°10'44"
C48	141.45	S 47°46'59" W	141.45	53°10'44"
C49	141.45	S 47°46'59" W	141.45	53°10'44"
C50	141.45	S 47°46'59" W	141.45	53°10'44"
C51	141.45	S 47°46'59" W	141.45	53°10'44"
C52	141.45	S 47°46'59" W	141.45	53°10'44"
C53	141.45	S 47°46'59" W	141.45	53°10'44"
C54	141.45	S 47°46'59" W	141.45	53°10'44"
C55	141.45	S 47°46'59" W	141.45	53°10'44"
C56	141.45	S 47°46'59" W	141.45	53°10'44"
C57	141.45	S 47°46'59" W	141.45	53°10'44"
C58	141.45	S 47°46'59" W	141.45	53°10'44"
C59	141.45	S 47°46'59" W	141.45	53°10'44"
C60	141.45	S 47°46'59" W	141.45	53°10'44"
C61	141.45	S 47°46'59" W	141.45	53°10'44"
C62	141.45	S 47°46'59" W	141.45	53°10'44"
C63	141.45	S 47°46'59" W	141.45	53°10'44"
C64	141.45	S 47°46'59" W	141.45	53°10'44"
C65	141.45	S 47°46'59" W	141.45	53°10'44"
C66	141.45	S 47°46'59" W	141.45	53°10'44"
C67	141.45	S 47°46'59" W	141.45	53°10'44"
C68	141.45	S 47°46'59" W	141.45	53°10'44"
C69	141.45	S 47°46'59" W	141.45	53°10'44"
C70	141.45	S 47°46'59" W	141.45	53°10'44"

RIGHTS-OF-WAY AND LOT LINE TABLE

1	S 16°11'11" E	149.35
2	S 16°11'11" E	149.35
3	S 16°11'11" E	149.35
4	S 16°11'11" E	149.35
5	S 16°11'11" E	149.35
6	S 16°11'11" E	149.35

TURNAROUND EASEMENT LINE & CURVE TABLES

LINE BEARING	DISTANCE
1	N 5°35'15" W
2	S 5°35'15" E

CURVE	ARC LENGTH	CHORD BEARING	CHORD LENGTH	DELTA ANGLE
C1	141.45	S 47°46'59" W	141.45	53°10'44"
C2	141.45	S 47°46'59" W	141.45	53°10'44"
C3	141.45	S 47°46'59" W	141.45	53°10'44"
C4	141.45	S 47°46'59" W	141.45	53°10'44"
C5	141.45	S 47°46'59" W	141.45	53°10'44"

20' WIDE DE LINE TABLE

LINE BEARING	DISTANCE
1	S 16°11'11" E
2	S 16°11'11" E
3	S 16°11'11" E
4	S 16°11'11" E
5	S 16°11'11" E
6	S 16°11'11" E
7	S 16°11'11" E
8	S 16°11'11" E
9	S 16°11'11" E
10	S 16°11'11" E
11	S 16°11'11" E
12	S 16°11'11" E
13	S 16°11'11" E
14	S 16°11'11" E
15	S 16°11'11" E
16	S 16°11'11" E
17	S 16°11'11" E
18	S 16°11'11" E
19	S 16°11'11" E
20	S 16°11'11" E
21	S 16°11'11" E
22	S 16°11'11" E
23	S 16°11'11" E
24	S 16°11'11" E
25	S 16°11'11" E
26	S 16°11'11" E
27	S 16°11'11" E
28	S 16°11'11" E
29	S 16°11'11" E
30	S 16°11'11" E
31	S 16°11'11" E
32	S 16°11'11" E
33	S 16°11'11" E
34	S 16°11'11" E
35	S 16°11'11" E
36	S 16°11'11" E
37	S 16°11'11" E
38	S 16°11'11" E
39	S 16°11'11" E
40	S 16°11'11" E
41	S 16°11'11" E
42	S 16°11'11" E
43	S 16°11'11" E
44	S 16°11'11" E
45	S 16°11'11" E
46	S 16°11'11" E
47	S 16°11'11" E
48	S 16°11'11" E
49	S 16°11'11" E
50	S 16°11'11" E
51	S 16°11'11" E
52	S 16°11'11" E
53	S 16°11'11" E
54	S 16°11'11" E
55	S 16°11'11" E
56	S 16°11'11" E
57	S 16°11'11" E
58	S 16°11'11" E
59	S 16°11'11" E
60	S 16°11'11" E
61	S 16°11'11" E
62	S 16°11'11" E
63	S 16°11'11" E
64	S 16°11'11" E
65	S 16°11'11" E
66	S 16°11'11" E
67	S 16°11'11" E
68	S 16°11'11" E
69	S 16°11'11" E
70	S 16°11'11" E
71	S 16°11'11" E
72	S 16°11'11" E
73	S 16°11'11" E
74	S 16°11'11" E
75	S 16°11'11" E
76	S 16°11'11" E
77	S 16°11'11" E
78	S 16°11'11" E
79	S 16°11'11" E
80	S 16°11'11" E
81	S 16°11'11" E
82	S 16°11'11" E
83	S 16°11'11" E
84	S 16°11'11" E
85	S 16°11'11" E
86	S 16°11'11" E
87	S 16°11'11" E
88	S 16°11'11" E
89	S 16°11'11" E
90	S 16°11'11" E
91	S 16°11'11" E
92	S 16°11'11" E
93	S 16°11'11" E
94	S 16°11'11" E
95	S 16°11'11" E
96	S 16°11'11" E
97	S 16°11'11" E
98	S 16°11'11" E
99	S 16°11'11" E
100	S 16°11'11" E

VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT LINE TABLES

LINE BEARING	DISTANCE
1	N 5°35'15" W
2	S 5°35'15" E
3	N 5°35'15" W
4	S 5°35'15" E
5	N 5°35'15" W
6	S 5°35'15" E
7	N 5°35'15" W
8	S 5°35'15" E
9	N 5°35'15" W
10	S 5°35'15" E
11	N 5°35'15" W
12	S 5°35'15" E
13	N 5°35'15" W
14	S 5°35'15" E
15	N 5°35'15" W
16	S 5°35'15" E
17	N 5°35'15" W
18	S 5°35'15" E
19	N 5°35'15" W
20	S 5°35'15" E
21	N 5°35'15" W
22	S 5°35'15" E
23	N 5°35'15" W
24	S 5°35'15" E
25	N 5°35'15" W
26	S 5°35'15" E
27	N 5°35'15" W
28	S 5°35'15" E
29	N 5°35'15" W
30	S 5°35'15" E
31	N 5°35'15" W
32	S 5°35'15" E
33	N 5°35'15" W
34	S 5°35'15" E
35	N 5°35'15" W
36	S 5°35'15" E
37	N 5°35'15" W
38	S 5°35'15" E
39	N 5°35'15" W
40	S 5°35'15" E
41	N 5°35'15" W
42	S 5°35'15" E
43	N 5°35'15" W
44	S 5°35'15" E
45	N 5°35'15" W
46	S 5°35'15" E
47	N 5°35'15" W
48	S 5°35'15" E
49	N 5°35'15" W
50	S 5°35'15" E
51	N 5°35'15" W
52	S 5°35'15" E
53	N 5°35'15" W
54	S 5°35'15" E
55	N 5°35'15" W
56	S 5°35'15" E
57	N 5°35'15" W
58	S 5°35'15" E
59	N 5°35'15" W
60	S 5°35'15" E
61	N 5°35'15" W
62	S 5°35'15" E
63	N 5°35'15" W
64	S 5°35'15" E
65	N 5°35'15" W
66	S 5°35'15" E
67	N 5°35'15" W
68	S 5°35'15" E
69	N 5°35'15" W
70	S 5°35'15" E
71	N 5°35'15" W
72	S 5°35'15" E
73	N 5°35'15" W
74	S 5°35'15" E
75	N 5°35'15" W
76	S 5°35'15" E
77	N 5°35'15" W
78	S 5°35'15" E
79	N 5°35'15" W
80	S 5°35'15" E
81	N 5°35'15" W
82	S 5°35'15" E
83	N 5°35'15" W
84	S 5°35'15" E
85	N 5°35'15" W
86	S 5°35'15" E
87	N 5°35'15" W
88	S 5°35'15" E
89	N 5°35'15" W
90	S 5°35'15" E
91	N 5°35'15" W
92	S 5°35'15" E
93	N 5°35'15" W
94	S 5°35'15" E
95	N 5°35'15" W
96	S 5°35'15" E
97	N 5°35'15" W
98	S 5°35'15" E
99	N 5°35'15" W
100	S 5°35'15" E

FOR TAX PURPOSES
THIS PLAT COMPLIES
WITH SECTION 12.002
OF THE PROPERTY
CODE

SHEET	CONTENTS	SHEET	CONTENTS
1	Neighborhood Map	10	Block 1 and 6
2	Certifications, Dedications and Notes	11	Block 2, 3 and 4
3	Block 1, 2 and 4	12	Block 4, Detail View "A"
4	Block 2, 3 and 4	13	Block 5, Detail View "B"
5	Block 3 and 4	14	Block 1 and 5
6	Block 2, 3 and 4	15	Block 1 and 5
7	Block 2, 3 and 4	16	Block 4, 5 and Detail View "C"
8	Block 2, 3 and 4	17	Line and Curve Tables
9	Block 1		

PLAT OF DEER FOREST SUBDIVISION

CONTAINING 6 BLOCKS, 292 LOTS AND 6 RESERVES

A SUBDIVISION CONTAINING 431.19 ACRES OF LAND,
BEING ALL OF THE CALLED 200.00 ACRES
DESCRIBED AS TRACT 1 AND BEING ALL OF THE
CALLED 231.291 ACRES DESCRIBED AS TRACT 2 IN
A DEED TO REPUBLIC GRAND RANCH, LLC
RECORDED UNDER INSTRUMENT NUMBER 67806,
OFFICIAL RECORDS, WALKER COUNTY, TEXAS,
JOSE MARIA DE LA GARZA GRANT, A-22,
WALKER COUNTY, TEXAS

MAY 2021

NAMKEN, INC.
P O Box 1158, New Waverly, TX 77358
TBPEL's Firm No 10194090
936-661-3325

Job No. 20-001

SHEET 17 OF 17

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West S.W. 150
 New Waverly, TX 77358
 281-713-1841
 Renee Hines,
 Authorized Agent
 P.O. Box 561
 Skull Valley, AZ 86338
 rhenes@republicgrandranch.com

REPUBLIC GRAND RANCH SECTION 3 SHEET INDEX



THIS SHEET NOT TO SCALE

PLAT OF

REPUBLIC GRAND RANCH SECTION 3

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
 P.O. Box 158, New Waverly, TX 77358
 281-713-1841
 936-661-3325

Job No. 20-094

SHEET 1 OF 15

LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found/Not Found Iron Rod with 1.5-2" steel plastic cap, not
- NICHOLAS A. NAMKEN RPLD 6533; UNLESS otherwise noted
- Floodway Areas in Zone AE
- Flood Zone AE
- Clerk's File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- MIL FF Minimum Flooded Floor Elevation
- PLU, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
2	Certifications and Dedications	10	Blocks 4 and 5
3	Notes, Line and Curve Tables	11	Blocks 2 and 3
4	Block 1	12	Blocks 2, 3 and Detail View "A"
5	Blocks 1 and 4	13	Blocks 2 and 5
6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Branch Mark"	15	Block 3
8	Blocks 2 and 3		

OWNERS ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF MONTGOMERY

I/We, Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 3, do hereby make subdivision of said property for and on behalf of said Republic Grand Ranch, LLC, according to the lines, streets, lots, alleys, parks, building area, and easements thereon shown, and designate said subdivision as REPUBLIC GRAND RANCH SECTION 3, located in the 2006 SANTA DE LA GARZA SURVEY, A-15, Montgomery County, Texas, and on behalf of said Republic Grand Ranch, LLC, dedicate to public use, as such, the streets, alleys, parks, and easements shown thereon, and do hereby waive any claims for damages occasioned by the establishing of grades as approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades, and do hereby bind ourselves, our successors and assigns to warrant and forever defend the title to the land so dedicated.

This is to certify that I/We, Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 3, have complied or will comply with all regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

There is also dedicated for utilities an unobstructed easement five (5) feet wide from a plane twenty (20) feet above the ground upward, located adjacent to all easements shown herein.

FURTHER, we, Republic Grand Ranch, LLC, do hereby dedicate forever to the public a strip of land, a minimum fifteen (15) feet wide on each side of the center line of any and all gutters, ditches, drains, ditches, or other natural drainage courses located in the said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easements at any and all times for the purpose of constructing and/or maintaining drainage work and/or structures.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, at the option of Montgomery County, by Montgomery County or any citizen thereof, by injunction, as follows: 1. That drainage of surface waters into road, street, alley, or other public ditch, either directly or indirectly, is strictly prohibited. 2. Drainage structures under private drainage shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

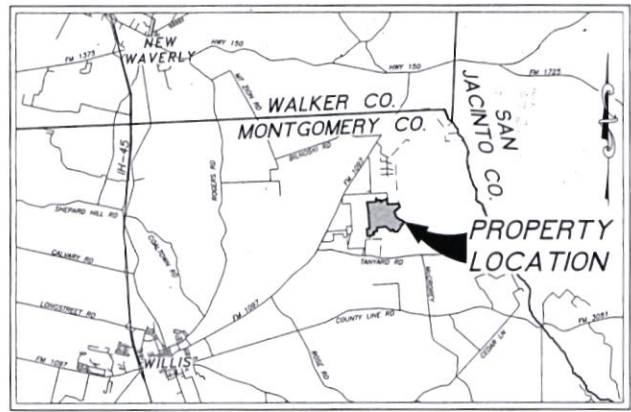
FURTHER, we do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of residential dwelling units thereon (or the placement of mobile home subdivisions) and shall be restricted for some under the terms and conditions of such restrictions filed separately, unless otherwise noted.

IN TESTIMONY WHEREOF, Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC has caused these presents to be signed by Gary P. Sumner, Authorized Agent, thereunto authorized, and it's common seal hereunto affixed.

this 5 day of May, 2021

Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC

Gary P. Sumner
By Gary P. Sumner, Authorized Agent



VICINITY MAP
Not To Scale

COUNTY ENGINEER'S ACKNOWLEDGEMENT

I, Jeff Johnson, P.E., County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners Court.

I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by Commissioners Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intervening drainage artery or parent stream or on any other area of subdivision within the watershed.

Jeff Johnson
Jeff Johnson, P.E., County Engineer

OWNERS ACKNOWLEDGEMENT FOR CORPORATIONS

STATE OF TEXAS,
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared Gary P. Sumner, Authorized Agent for Republic Grand Ranch, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

Dated this 5 day of May, 2021 by Shelby Genovak

Shelby Genovak
Notary Public for State of Texas

APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Montgomery County, Texas has approved the Plat of REPUBLIC GRAND RANCH, SECTION 3.

DATED this _____ day of _____, 20____

Robert C. Walker
Robert C. Walker
Commissioner, Precinct 1

Mark Frough
Mark Frough
County Judge

Charlie Riley
Charlie Riley
Commissioner, Precinct 2

James Nicks
James Nicks
Commissioner, Precinct 3

James Wells
James Wells
Commissioner, Precinct 4

LIENHOLDERS ACKNOWLEDGEMENT & SUBORDINATION STATEMENT

STATE OF NORTH CAROLINA,
COUNTY OF NEW HANOVER

I (or we), SHP Republic Grand Ranch, LLC, owner and holder of a lien against the property, said lien being evidenced by instrument of record under CPNs 2019113827 and 2019113828, Official Public Records of Montgomery County, Texas, do hereby in all things subordinate to said plat said lien, and I (or we) hereby confirm that I am (or we are) the present owner (or owners) of said lien and have not assigned the same nor any part thereof.

Shelby Genovak
By SHP REPUBLIC GRAND RANCH, LLC

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS,
COUNTY OF MONTGOMERY

I, Mark Turnbull, County Clerk of Montgomery County, Texas, do hereby certify that the within instrument with it's certificate of authentication was filed for registration in my office on

May 20, 2021
at 930 o'clock A M., and duly recorded on
May 20, 2021
at 1040 o'clock A M., in Cabinet 2 sheet 1393
of record of Maps for said County.

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date first above written.

Mark Turnbull
Mark Turnbull, Clerk, County of Montgomery County, Texas
By *Shelby Genovak* Deputy



NOTARY PUBLIC ACKNOWLEDGEMENT

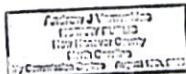
STATE OF NORTH CAROLINA,
COUNTY OF NEW HANOVER

BEFORE ME, the undersigned authority, on this day personally appeared SHP REPUBLIC GRAND RANCH, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

Dated this 20th day of May, 2021

Notary Public for State of North Carolina



CERTIFICATION BY THE SURVEYOR

I, Michael A. Haskew, am authorized (or registered) under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is true and correct; was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmark reflected on the face of the plat was established as required by regulations; that all corners and single points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent material) pipe or rods have a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.

Mike Haskew
Mike Haskew 5-5-2021
Michael A. Haskew
Registered Professional Land Surveyor No. 6533



OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
10154 West S.H. 150
New Haven, TX 77558
828-713-1841

Renee Howe,
Authorized Agent
P.O. Box 261
Shut Villet, AZ 86328
rhoweconsulting@gmail.com

PLAT OF
REPUBLIC GRAND RANCH
SECTION 3
CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE
A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT,
CLERK'S FILE No. 2019113827, MONTGOMERY
COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

APRIL 2021

Notken, Inc.
P.O. Box 1556 New Haven, TX 77558
TIPELS Form No. 10394030
936-661-3325

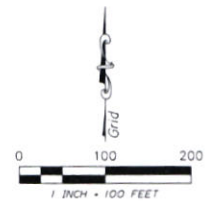
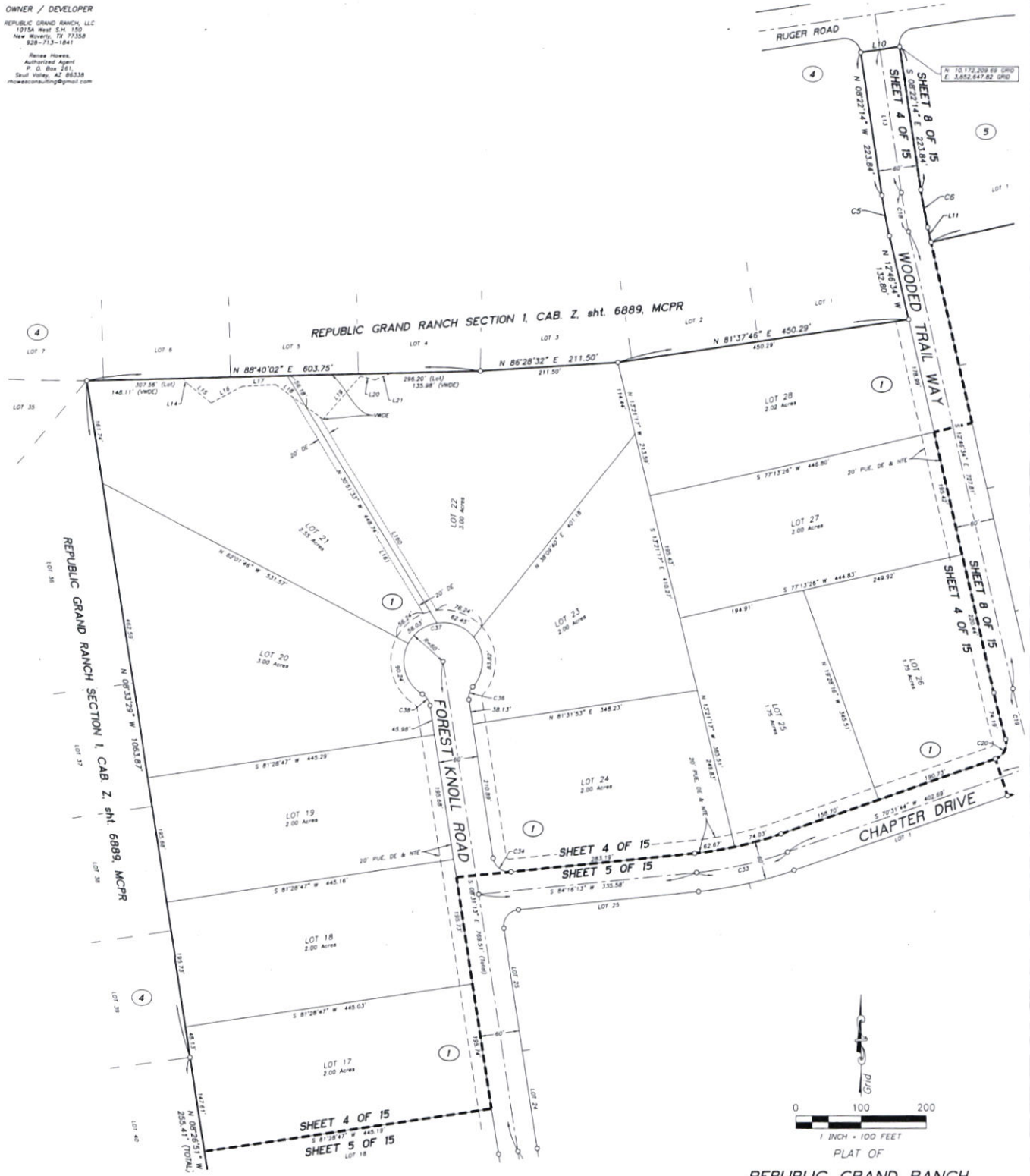
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SHEET 2 OF 15

DOC # 2021073259
Cabinet 032 Sheet 7394

Renee Howes,
Authorized Agent
P. O. Box 261,
Skull Valley, AZ 86338
rhowesconsulting@gmail.com

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10715A West 5th, 150
 New Beverly, TX 77358
 828-713-1841
 Rhonda Hovew
 Authorized Agent
 P. O. Box 361
 Skid. Valley, AZ 85338
 rhovew@comcast.net



**REPUBLIC GRAND RANCH
 SECTION 3**

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
 P.O. Box 1158, New Beverly, TX 77358
 TEL: 817-713-1841
 936-661-3325

Job No. 20-094

SHEET 4 OF 15

LEGEND

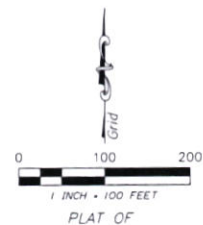
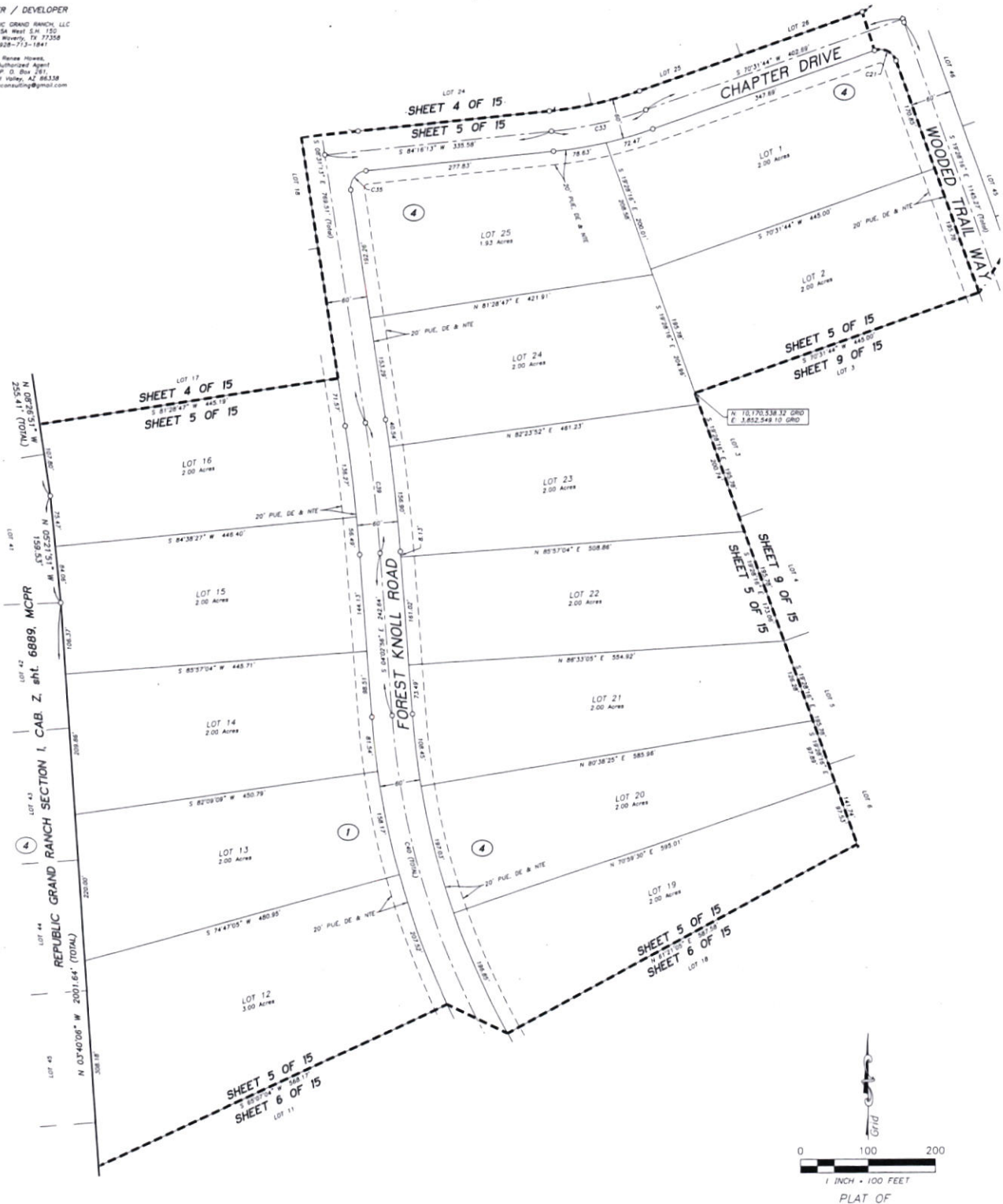
- ① Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 1/2" 5/8" Iron Rod with 1-3/4" blue plastic cap mkt.
- MICHAEL A. NARDELLI R/L 6553; UNLESS otherwise noted
- ▨ Flood Zone AE
- ▨ Flood Zone AE
- ▨ Clerk's File Number
- MCOR Montgomery County Deed Records
- MCOPR Montgomery County Official Public Records
- MCORR Montgomery County Real Property Records
- MCPR Montgomery County Plat Records
- MFL FF Minimum Finished Floor Elevation
- PLU, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX			
1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
2	Certifications and Dedications	10	Blocks 4 and 5
3	Notes, Line and Curve Tables	11	Blocks 2 and 3
4	Block 1	12	Blocks 2, 3 and Detail View "A"
5	Blocks 1 and 4	13	Blocks 2 and 5
6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Bench Mark"	15	Block 3
8	Blocks 2 and 3		

DOC # 2021073259
 Cabinet 002 Sheet 7396

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
1015A West SH. 120
New Rivers, TX 77358
928-713-1841
Ramon Hovens,
Authorized Agent
P.O. Box 361
Skull Valley, AZ 86338
rhowens@earthlink.net



REPUBLIC GRAND RANCH
SECTION 3

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT,
CLERK'S FILE No. 2019113827, MONTGOMERY
COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

APRIL 2021

Wamken, Inc.
P.O. Box 158, New Rivers, TX 77358
TBEELS Form No. 1094090
936-661-3325

Job No. 20-094

SHEET 5 OF 15

DOC # 2021073259
Cabinet 002 Sheet 7397

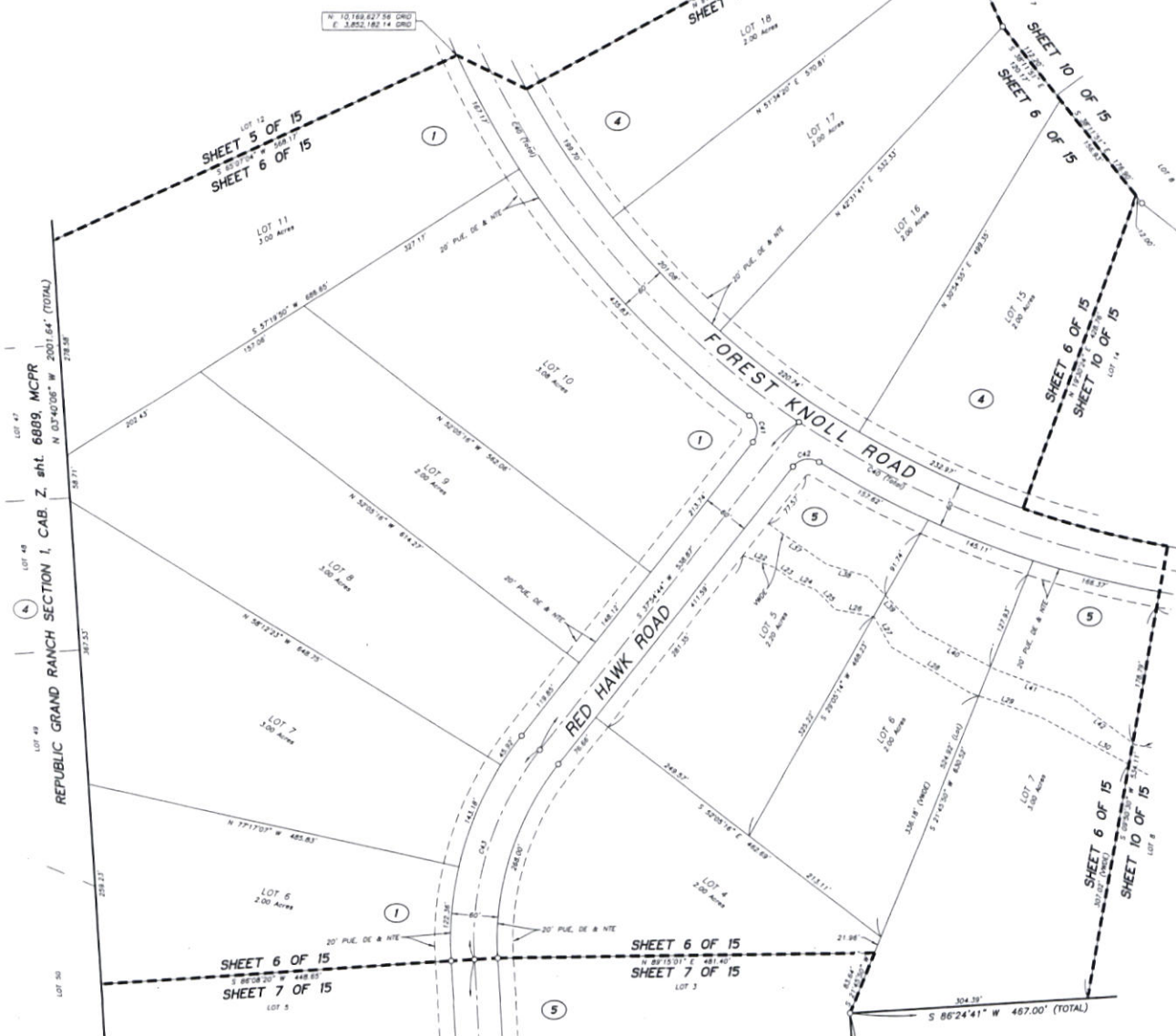
LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-5/4" blue plastic cap, read
- MICHAEL, A. HARRIS' RPLD 65337, UNLESS otherwise noted
- Flooded Areas in Zone AE
- Flood Zone AE
- Clark's File Number
- MCOR Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Real Property Records
- Mn FF Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX

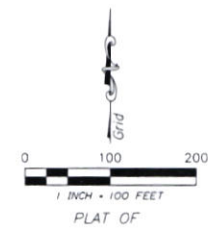
1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
2	Certifications and Dedications	10	Blocks 4 and 5
3	Notes, Line and Curve Tables	11	Blocks 2 and 3
4	Block 1	12	Blocks 2, 3 and Detail View "A"
5	Blocks 1 and 4	13	Blocks 2 and 5
6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Bench Mark"	15	Block 3
8	Blocks 2 and 3		

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West 5th - 150
 New Waverly, TX 77358
 282-713-1841
 Project Name:
 Authorized Agent:
 P. O. Box 281
 Shul Valley, AL 36538
 rhawsonconsulting@gmail.com



- LEGEND**
- ① Block Number
 - 3/4" Found Iron Pipe, size and cap as noted
 - 3/4" Found Iron Rod, size and cap as noted
 - Found 5/8" Iron Rod with 1-3/4" blue plastic cap mark
 - MICHAEL A. NABNEY RPLS 65551, UNLESS OTHERWISE NOTED
 - ▨ Flood Zone AE
 - CFN Clerk's File Number
 - MCOR Montgomery County Deed Records
 - MCOPR Montgomery County Official Public Records
 - MCOPR Montgomery County Real Property Records
 - MCPR Montgomery County Plat Records
 - MFL Minimum Finished Floor Elevation
 - PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
 - VDE Variable Width Private Drainage Easement
 - VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX			
1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
2	Certifications and Dedications	10	Blocks 4 and 5
3	Notes, Line and Curve Tables	11	Blocks 2 and 3
4	Block 1	12	Blocks 2, 3 and Detail View "A"
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6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Bench Mark"	15	Block 3
8	Blocks 2 and 3		



REPUBLIC GRAND RANCH SECTION 3
 CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE
 A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
 P.O. Box 158, New Waverly, TX 77358
 TPELID Firm No. 1034090
 936-661-3325

Job No. 20-094

SHEET 6 OF 15

LEGENDA

4

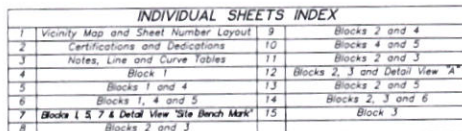
● JPN

● JPO

○

CFN

Block Number:
Found Iron Pipe, size and cap as noted
Found Iron Rod, size and cap as noted
Found/Sel: 5/8" Iron Rod with 1-3/4" blue plastic cap mtd.
MICHAEL A. NAMEY R/L'S 6533, UNLESS otherwise noted
Flowday Areas in Zone AE
Flood Zone AE
Clerk's File Number
Montgomery County Deed Records
Montgomery County Official Public Records
Montgomery County Real Property Records
Montgomery County Plod Records
Minimum Treated Floor Elevation
Public Utility Easement, Drainage Easement & Nature Trail Easement
Variable Width Private Drainage Easement
Vegetative Buffer



LOT 4
2.29 ACRES

LOT 2 - 2.00 ACRES
N 86°24'41" E 445.00'

RED HAWK ROAD

S 03°25'14" E 648.82'

21.88'

SIDE BEYOND MARK
N 15°18'52.91" GRD
C 2.852,262.95 GRD
ELEV 372.79'
SEP 8" Concrete Monument w/
Aluminum Disk stamped CP 36
See Note 11, Sheet 3 of 15

LOT 1
2.00 ACRES

150.78'

152.47'

24.88'

60'

WAGON PASS TRAIL

N 86°24'41" E 856.85'

LOT 3
2.18 ACRES

5 S 86°24'41" W 445.00'

1.6

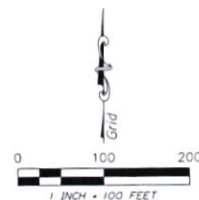
C3

1.7

1.4

1

7



CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

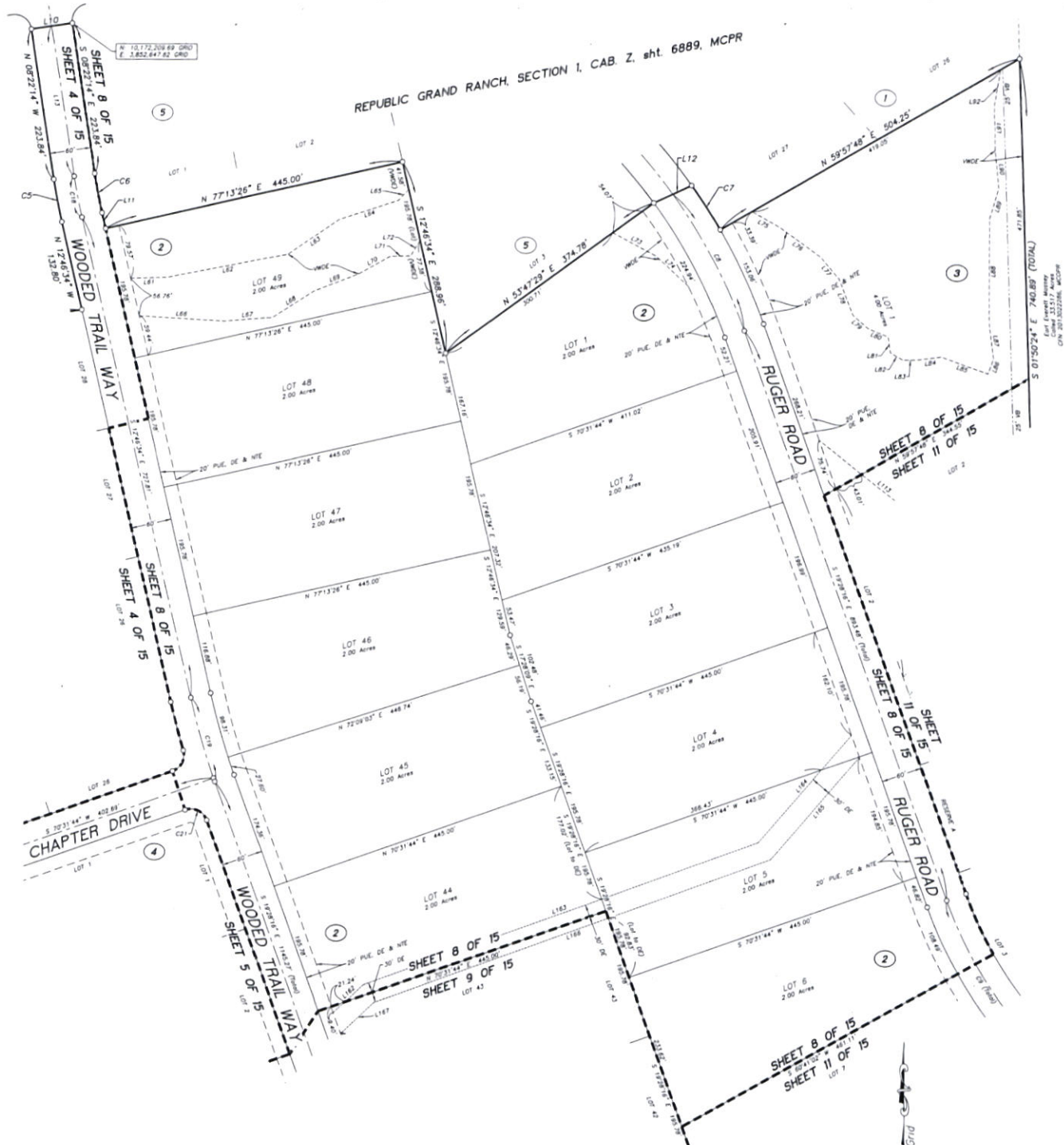
A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
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REPUBLIC GRAND RANCH, LLC TRACT,
CLERK'S FILE No. 2019113827, MONTGOMERY
COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
P.O. Box 1158, New Waverly, Tx 77358
TBPELS Firm No. 10194090
936-661-3325

Job No. 20-094

SHEET 7 OF 15



OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West 5th 180
 New Smyrna, TX 77558
 828-713-1841
 Renee Hovess,
 Authorized Agent
 P.O. Box 261
 Skull Valley, AZ 86339
 rhovess@republicgrandranch.com

LEGEND

- ④ Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 3/8" Iron Rod with 1-3/4" blue plastic cap mid
- MICHAEL A. NABERN RPLD 6553; UNLESS OTHERWISE NOTED
- ▨ Flood Zone AE
- Clerk's File Number
- MCPR Montgomery County Deed Records
- MCPR Montgomery County Official Public Records
- MCPR Montgomery County Real Property Records
- MCPR Montgomery County Plat Records
- Mn. FF Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX			
1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
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6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Bench Mark"	15	Block 3
8	Blocks 2 and 3		



**PLAT OF
 REPUBLIC GRAND RANCH
 SECTION 3**

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

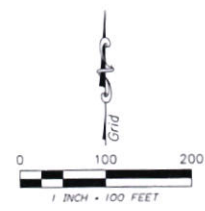
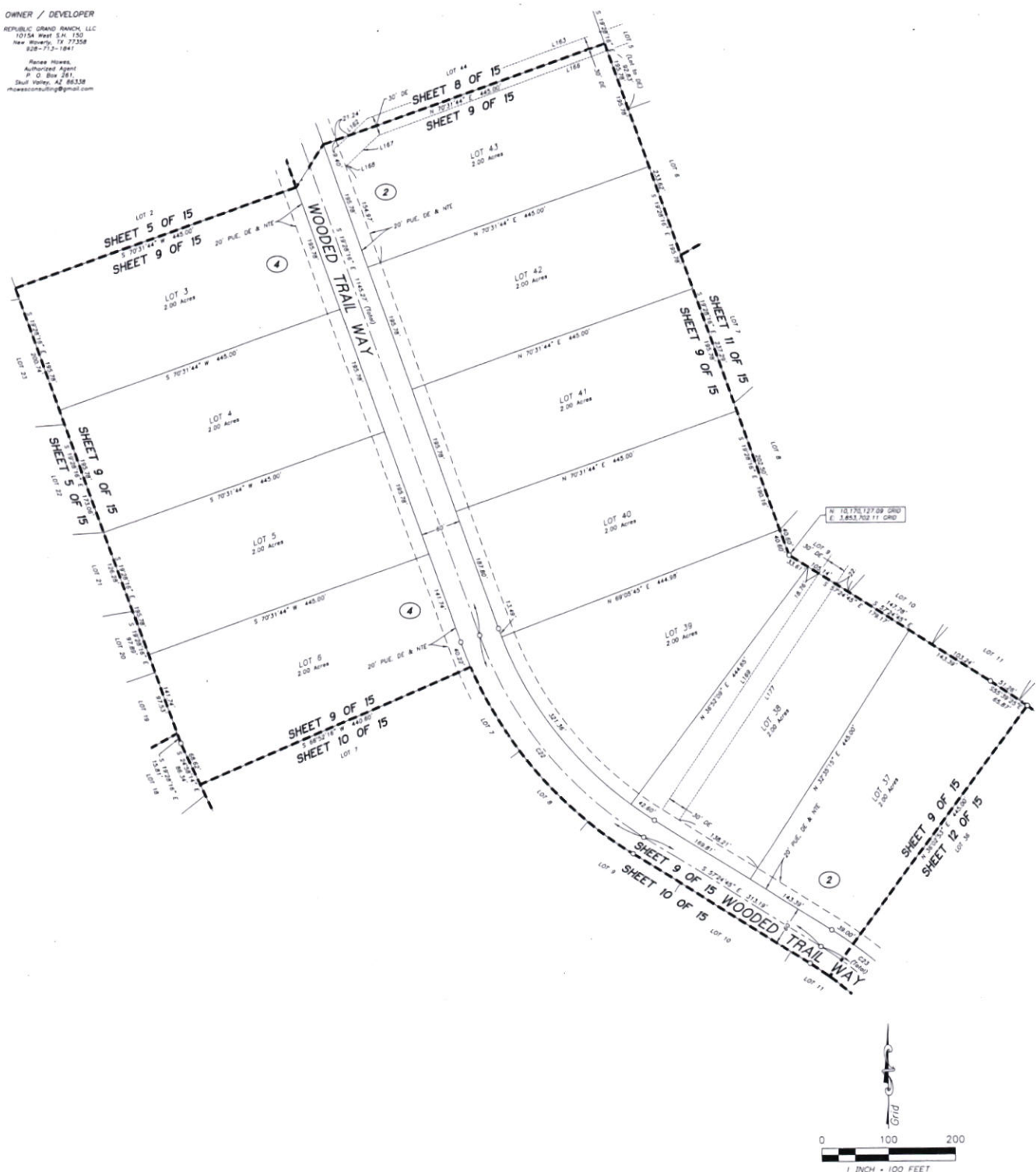
Namkin, Inc.
 P.O. Box 658, New Smyrna, TX 77558
 TPEL'S Firm No. 0394090
 936-661-3325

Job No. 20-094

SHEET 8 OF 15

DOC # 2021073259
 Cabinet 002 Sheet 7400

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West S.H. 150
 New Mexico, TX 77358
 828-713-1841
 Reese Hovew,
 Authorized Agent
 P.O. Box 281
 Skull Valley, AZ 86338
 reesehove@republicgrandranch.com



PLAT OF
REPUBLIC GRAND RANCH
SECTION 3
 CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE
 A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
 P.O. Box 1548, New Mexico, TX 77358
 TPELS Firm No. 1034080
 936-661-3325

Job No. 20-094

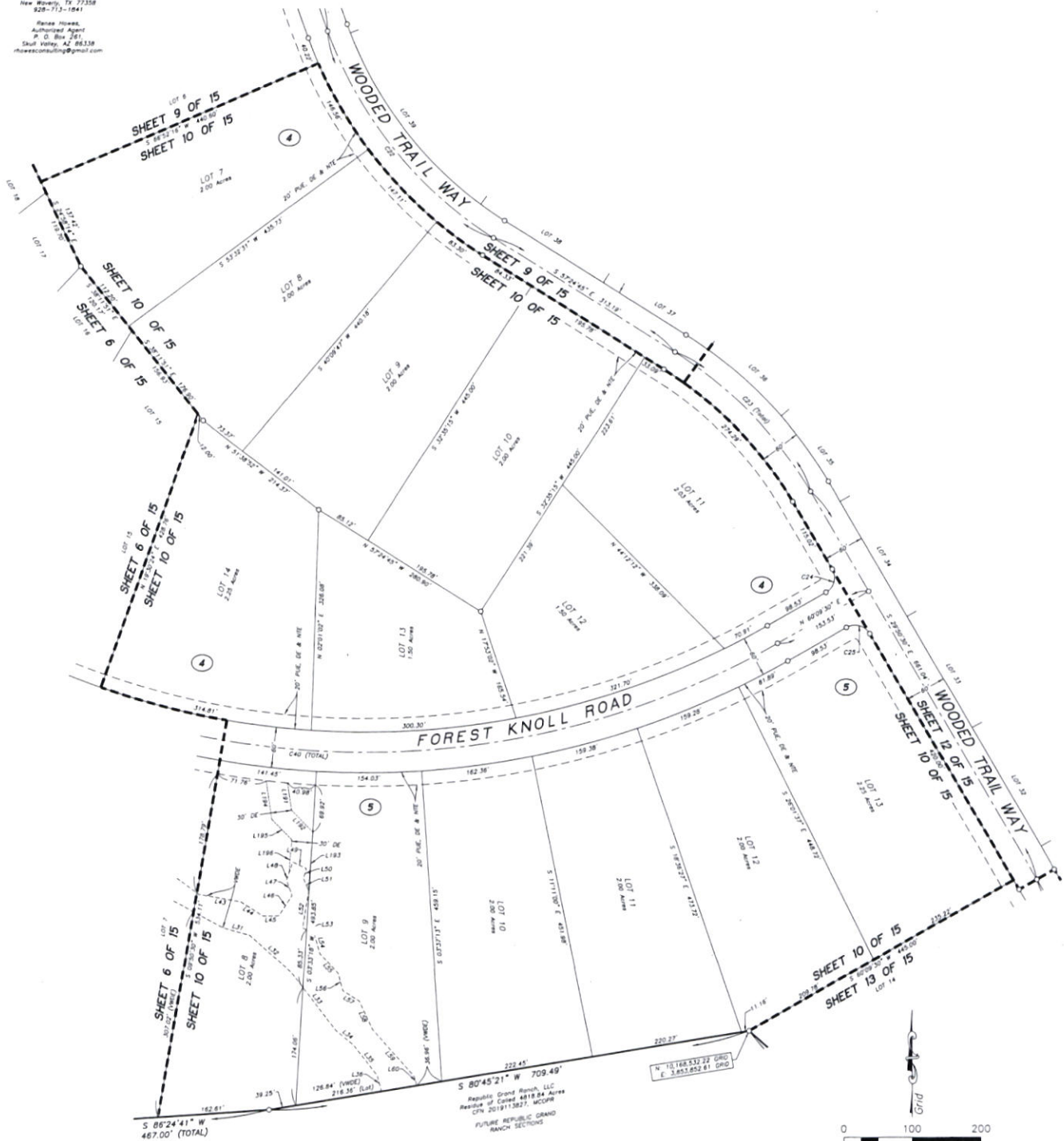
SHEET 9 OF 15

- LEGEND**
- ① Block Number
 - DWF Found Iron Pipe, size and cap as noted
 - DWF Found Iron Pipe, size and cap as noted
 - DWF Found 1/2" Iron Pipe with 1-3/4" blue plastic cap and
 - MICHAEL A. NAMKEN RPLD 65537, UNLESS OTHERWISE NOTED
 - Floodway Area in Zone AE
 - Flood Zone AE
 - CYN Clerk's File Number
 - MCDR Montgomery County Deed Records
 - MCDPR Montgomery County Official Public Records
 - MCDPR Montgomery County Real Property Records
 - MCDPR Montgomery County Plat Records
 - Min. FF Minimum Finished Floor Elevation
 - PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
 - VPOE Variable Width Private Drainage Easement
 - VB Vegetative Buffer

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6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 and Detail View "Site Bench Mark"	15	Block 3
8	Blocks 2 and 3		

DOC # 2021073259
 Cabinet 00Z Sheet 7401

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West E.H. 150
 New Mexico, TX 77358
 928-713-1041
 Renee Howell,
 Authorized Agent
 P.O. Box 261
 Shuf Valley, AZ 86338
 rhowellconsulting@gmail.com



0 100 200
 1 INCH = 100 FEET

PLAT OF
REPUBLIC GRAND RANCH
SECTION 3

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

Nimble, Inc.
 P.O. Box 158, New Mexico, TX 77358
 T8P6L2 Firm No. 1094090
 936-661-3325

Job No. 20-094

SHEET 10 OF 15

LEGEND

- ① Block Number
- 3/4" Found Iron Pipe, size and cap as noted
- 3/4" Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap mtd.
- MICHAEL A. NAMPHEN RPL'S 65331, UNLESS OTHERWISE NOTED
- Flooded Area in Zone AE
- Flood Zone AE
- Clerk's File Number
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Min. 1' F. Minimum Finished Floor Elevation
- P.U.E. DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- Variable Width Private Drainage Easement
- Vegetative Buffer

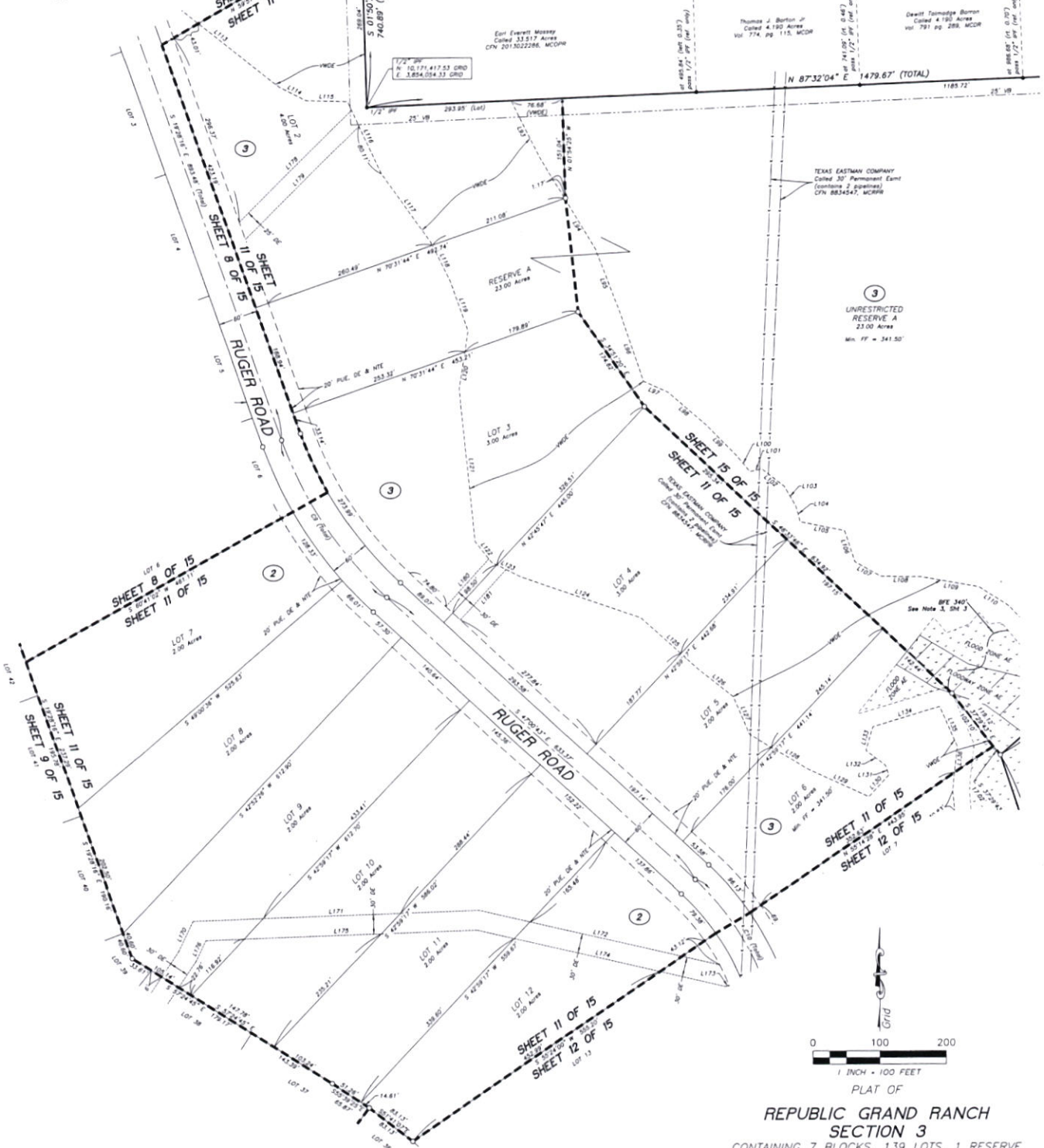
INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
2	Certifications and Dedications	10	Blocks 4 and 5
3	Notes, Line and Curve Tables	11	Blocks 2 and 3
4	Block 1	12	Blocks 2, 3 and Detail View "A"
5	Blocks 1 and 4	13	Blocks 2 and 5
6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Bench Mkr"	15	Block 3
8	Blocks 2 and 3		

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
10154 West 5th St.
New Mexico, TX 77358
936-713-1841

Renee Hovak,
Authorized Agent
P.O. Box 381
Skull Valley, AZ 86138
rhone@republicgrand.com



LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap noted
- MICHAEL A. NAMKEN RPLD 65337, UNLESS otherwise noted
- Floodway Areas in Zone AE
- Flood Zone AE
- Clark's File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- MFR Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VWDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX			
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REPUBLIC GRAND RANCH
SECTION 3

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT,
CLERK'S FILE No. 2019113827, MONTGOMERY
COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
P.O. Box 258 New Mexico, TX 77358
RPLD 65337, UNLESS otherwise noted
936-661-3325

Job No. 20-094

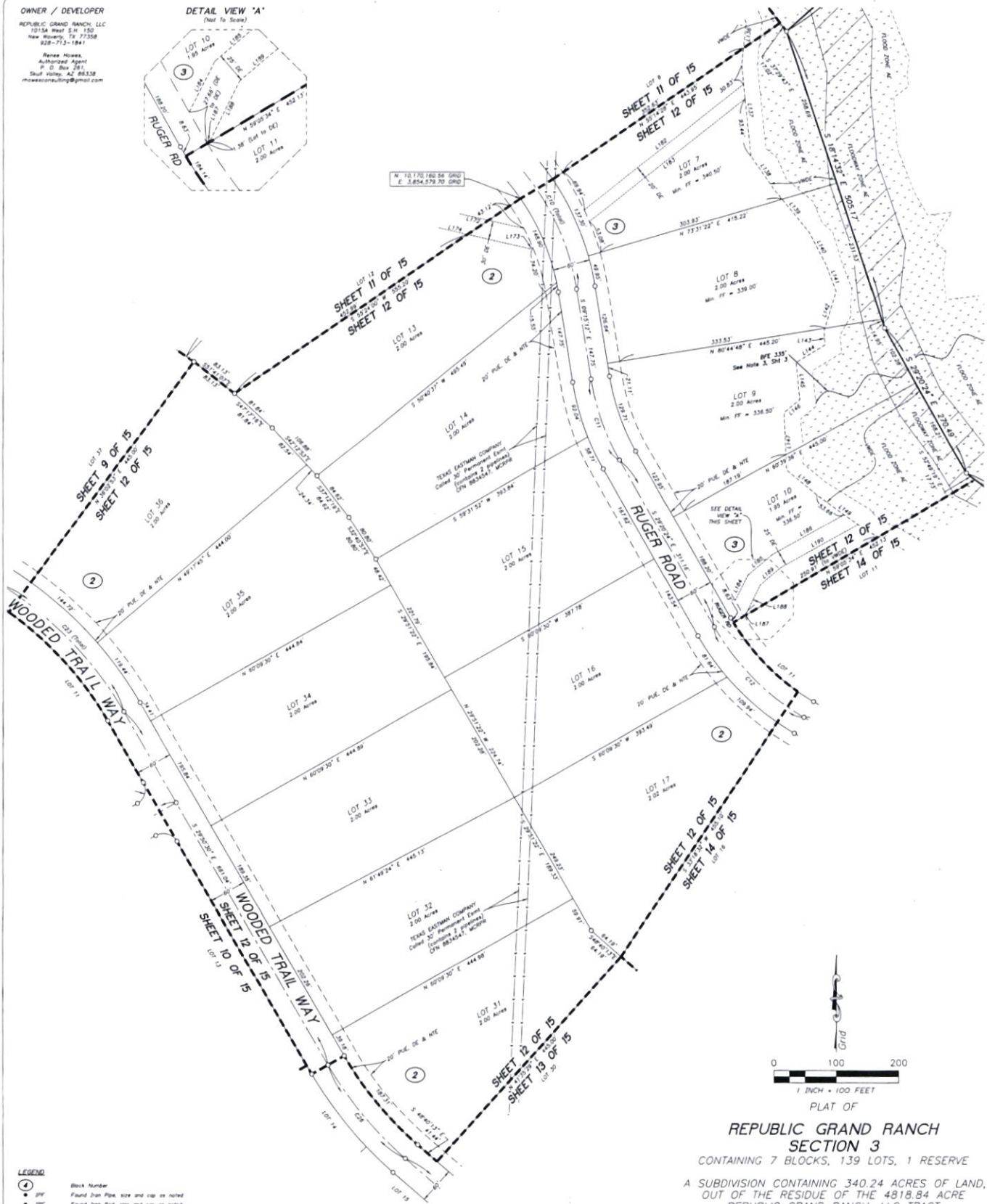
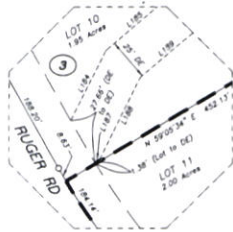
SHEET 11 OF 15

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
1215A West S.H. 150
New Haven, TX 77558
928-713-1841
Renee Hines,
Authorized Agent
P.O. Box 281
Shall Valley, AZ 85338
rhines@republicgrandranch.com

DETAIL VIEW 'A'

(Not to Scale)

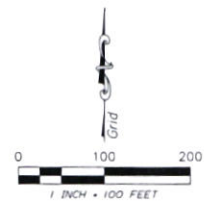


LEGEND

- ① Block Number
- 6" Iron Pipe, size and cap as noted
- 8" Iron Pipe, size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap mid.
- MICHAEL A. NANNEN RPLS 65331, UNLESS otherwise noted
- Found Zone AE
- Clerk's File Number
- MCOR Montgomery County Deed Records
- MCORP Montgomery County Official Public Records
- MCORP Montgomery County Real Property Records
- MCORP Montgomery County Plat Records
- MIN. FF Minimum Finished Floor Elevation
- PUE, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- WIDE Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX

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6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View 'A' (Bench Mark)	15	Block 3
8	Blocks 2 and 3		



PLAT OF
REPUBLIC GRAND RANCH
SECTION 3

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT,
CLERK'S FILE No. 2019113827, MONTGOMERY
COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

APRIL 2021

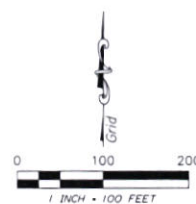
Norfolk, Inc.
P.O. Box 1586 New Haven, TX 77558
TPELSE Firm No. 1094090
936-661-3325

Job No. 20-094

SHEET 12 OF 15

DOC # 201073259
Cabinet 002 Sheet 7404

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West S.H. 150
 New Mexico, TX 77358
 828-713-1841
 Repes House,
 Authorized Agent
 P.O. Box 387,
 Skutumpah, AZ 86338
 rhouse@republicgrandranch.com



PLAT OF
REPUBLIC GRAND RANCH
SECTION 3
 CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
 P.O. Box 1158, New Mexico, TX 77358
 (936) 661-3325
 936-661-3325

Job No. 20-094

SHEET 13 OF 15

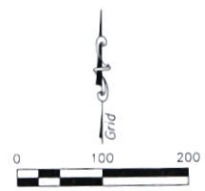
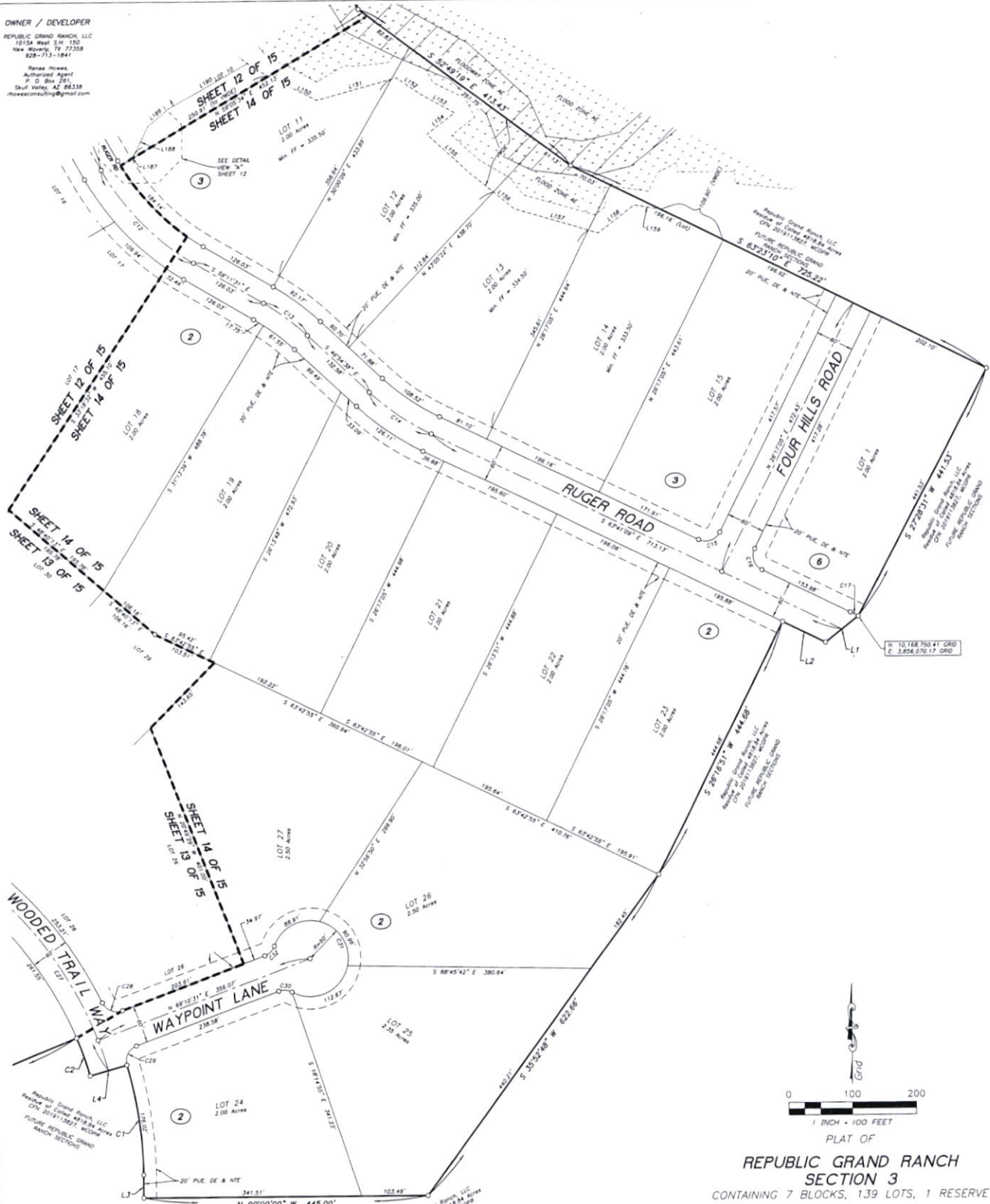
LEGEND

- Block Number
- Found Iron Pipe, size and cap as noted
- Found Iron Rod, size and cap as noted
- Found/Not Found 5/8\"/>

INDIVIDUAL SHEETS INDEX			
1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
2	Certifications and Dedications	10	Blocks 4 and 5
3	Notes, Line and Curve Tables	11	Blocks 2 and 3
4	Block 1	12	Blocks 2, 3 and Detail View "A"
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6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Site Bench Marks"	15	Block 3
8	Blocks 2 and 3		

DOC # 2021073259
 Cabinet 002 Sheet 7405

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 West S.W. 150
 New Rivers, TX 77358
 828-713-1841
 Renee Hines
 Authorized Agent
 P.O. Box 261
 Shuf Water, AZ 85338
 rhines@republicgrand.com



PLAT OF
REPUBLIC GRAND RANCH
SECTION 3
 CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
 OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT,
 CLERK'S FILE No. 2019113827, MONTGOMERY
 COUNTY OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA GRANT, A-15
 MONTGOMERY COUNTY, TEXAS

APRIL 2021

NAMMEN, INC.
 P.O. Box 158, New Rivers, TX 77358
 T8PCL8 Firm No. 1094090
 936-661-3325

Job No. 20-094

SHEET 14 OF 15

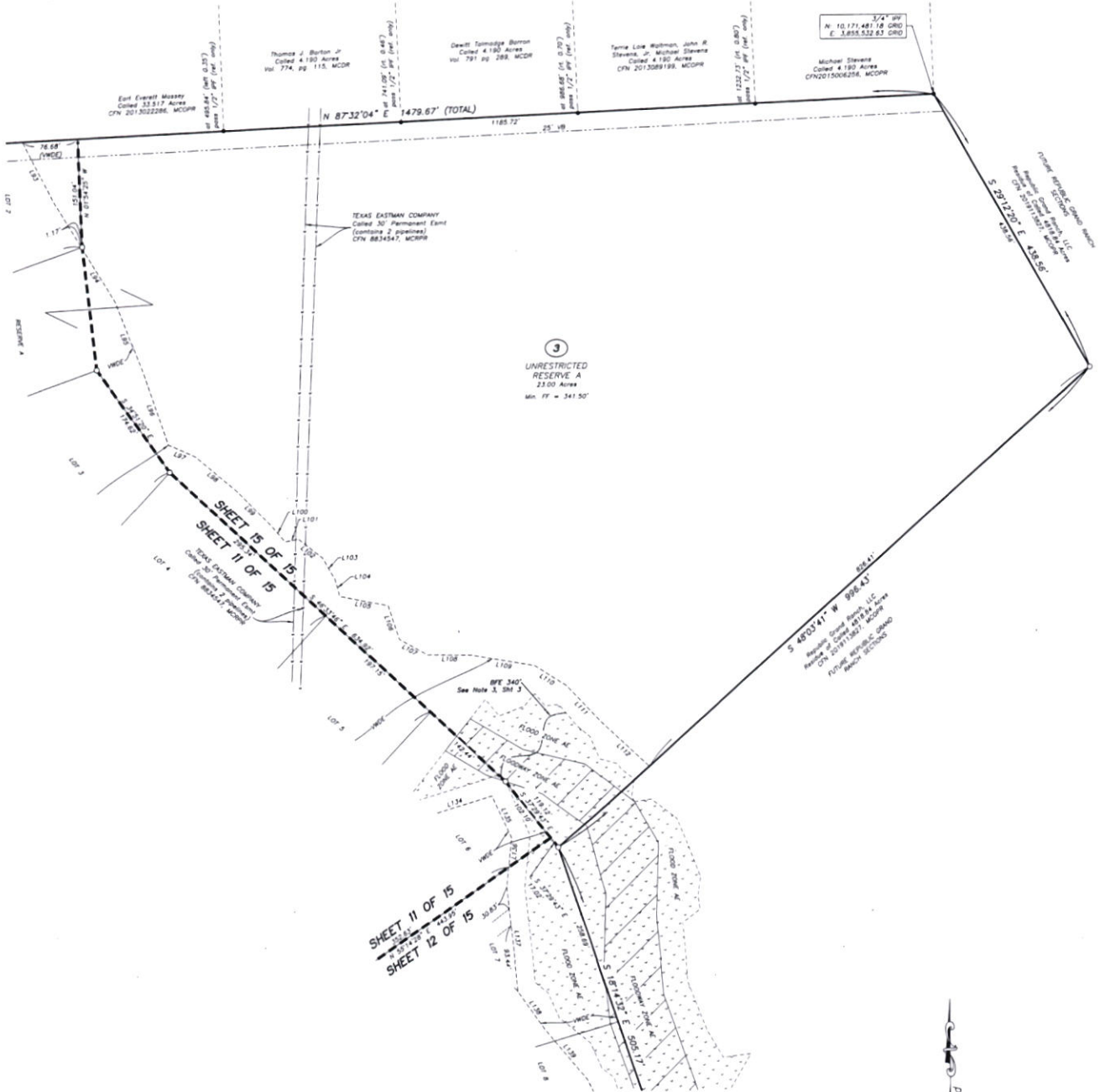
- LEGEND**
- Block Number
 - Found Iron Pipe, size and cap as noted
 - Found Iron Rod, size and cap as noted
 - Found 5/8" Iron Rod with 1-5/4" blue plastic cap, mtd.
 - MICHAEL A. HANSEN RPLS 65551 UNLESS OTHERWISE NOTED
 - Findings shown in Zone A-E
 - Fixed Zone A-E
 - Clark's File Number
 - Montgomery County Deed Records
 - Montgomery County Official Public Records
 - Montgomery County Real Property Records
 - Montgomery County Plat Records
 - Minimum Finished Floor Elevation
 - PUE, DE & NTE: Public Utility Easement, Drainage Easement & Nature Trail Easement
 - Variable Width Private Drainage Easement
 - VR: Vegetative Buffer

INDIVIDUAL SHEETS INDEX			
1	Vicinity Map and Sheet Number Layout	9	Blocks 2 and 4
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6	Blocks 1, 4 and 5	14	Blocks 2, 3 and 6
7	Blocks 1, 5, 7 & Detail View "Via Ranch Mark"	15	Block 3
8	Blocks 2 and 3		

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
1215A West S.H. 150
New Rivers, TX 77358
936-713-1841

Reisa Hovest,
Authorized Agent
P.O. Box 281,
Shul Valley, AZ 86338
rhovest@republicgrand.com



LEGEND

- Block Number
- Found Iron Pipe, size and top as noted
- Found Iron Rod, size and top as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap end
- MICHAEL A. NAMMEN R/L/S 65337, UNLESS OTHERWISE NOTED
- Floodway Area in Zone AE
- Flood Zone AE
- CFN Clerk's File Number
- MCDR Montgomery County Deed Records
- MCDR Montgomery County Official Public Records
- MCDR Montgomery County Real Property Records
- MCDR Montgomery County Plat Records
- MFL Minimum Finished Floor Elevation
- PLU, DE & NTE Public Utility Easement, Drainage Easement & Nature Trail Easement
- VME Variable Width Private Drainage Easement
- VB Vegetative Buffer

INDIVIDUAL SHEETS INDEX

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8	Blocks 2 and 3		

REPUBLIC GRAND RANCH SECTION 3

CONTAINING 7 BLOCKS, 139 LOTS, 1 RESERVE

A SUBDIVISION CONTAINING 340.24 ACRES OF LAND,
OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT,
CLERK'S FILE No. 2019113827, MONTGOMERY
COUNTY OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA GRANT, A-15
MONTGOMERY COUNTY, TEXAS

APRIL 2021

Namken, Inc.
P.O. Box 1158, New Rivers, TX 77358
TSP/LS Form No. 10394090
936-661-5325

Job No. 20-094

SHEET 15 OF 15

OWNER / DEVELOPER
 REPUBLIC GRAND RANCH, LLC
 10154 S.H. 150
 New Mexico, TX 77358
 820-713-1841
 Rainer Hoeser
 Authorized Agent
 P.O. Box 261
 Skutumpah, AZ 86338
 r.hoeser@republicgrandranch.com

REPUBLIC GRAND RANCH SECTION 2 SHEET INDEX



THIS SHEET NOT TO SCALE

PLAT OF

REPUBLIC GRAND RANCH SECTION 2

CONTAINING 4 BLOCKS, 11 LOTS, 4 RESERVES

A SUBDIVISION CONTAINING 75.77 ACRES OF LAND,
 OUT OF THE 136.6886 ACRE REPUBLIC GRAND
 RANCH, LLC TRACT, CLERK'S FILE No. 2020053105,
 AND OUT OF THE RESIDUE OF THE 4818.84 ACRE
 REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
 No. 2019113827 MONTGOMERY COUNTY
 OFFICIAL PUBLIC RECORDS
 JOSE MARIA DE LA GARZA SURVEY, A-15
 MONTGOMERY COUNTY, TEXAS

FEBRUARY 2021

NAPRA, Inc.
 P.O. Box 150, New Mexico, TX 77158
 TBPES Firm No. 1034090
 936-661-3325

Job No. 20-053

SHEET 1 OF 6

LEGEND

- Block Number
- Found Concrete Monument, size and type as noted
- Found 5/8" Iron Rod with size and cap as noted
- Found 3/4" Iron Rod with 1/2" cap plastic cap note
- MICHAEL A. NAKAMEN RPLD 65337 UNLESS OTHERWISE NOTED
- Clerk's File Number
- Minimum Finished Floor Elevation
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- MCDR Montgomery County Deed Records
- MCDPR Montgomery County Official Public Records
- MCDPR Montgomery County Real Property Records
- MCDPR Montgomery County Plat Records
- VWDE Variable Width Private Drainage Easement

DOC # 2021057497
 Cabinet 002 Sheet 7311

INDIVIDUAL SHEETS INDEX	
1	View Map and Sheet Number Layout
2	Certifications and Dedications
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5	Blocks 1 and 2
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OWNERS ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 2, do hereby make subdivision of said property for and on behalf of said Republic Grand Ranch, LLC, according to the lines, streets, lots, blocks, parcels, building lots, and easements shown thereon, and designate said subdivision as REPUBLIC GRAND RANCH SECTION 2, located in the JOSÉ MARIA DE LA GARZA SURVEY, A-15, Montgomery County, Texas, and on behalf of said Republic Grand Ranch, LLC, and dedicate to the public use of said streets, alleys, parks, and easements shown thereon, and do hereby waive any claims for damages occasioned by the establishing of grades or approved for the streets and alleys dedicated, or occasioned by the alteration of the surface of any portion of streets or alleys to conform to such grades, and do hereby bind successors, our successors and assigns to maintain and forever defend the title to the land so dedicated.

This is to certify that I, Gary P. Sumner, Authorized Agent of Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC, owner of the property subdivided in the above and foregoing map of REPUBLIC GRAND RANCH SECTION 2, have complied or will comply with all of regulations heretofore on file with the Montgomery County Engineer and adopted by the Commissioners Court of Montgomery County, Texas.

There is also dedicated for utilities an undisturbed aerial easement five (5) feet wide from a plane twenty (20) feet above the ground upward, located adjacent to all easements shown thereon.

FURTHER, we Republic Grand Ranch, LLC, do hereby dedicate forever to the public a strip of land, a maximum fifteen (15) feet wide on each side of the center line of any and all public, private, streets, alleys, or other natural drainage courses located in the said subdivision, as easements for drainage purposes, giving Montgomery County and/or any other public agency the right to enter upon said easements at any and all times for the purpose of constructing and/or maintaining drainage work and/or structures.

FURTHER, all of the property subdivided in the above and foregoing map shall be restricted in its use, which restrictions shall run with the title to the property, and shall be enforceable, of the option of Montgomery County or any citizen thereof, by injunction, or otherwise, as follows:

1. That drainage of water from any road, street, alley, or other public ditch, either directly or indirectly, is strictly prohibited.

2. Drainage structures under private drainage shall have a net drainage opening area of sufficient size to permit the free flow of water without backwater, and shall be a minimum of one and three quarters (1-3/4) square feet (18" diameter pipe culvert).

FURTHER, we do hereby declare that all parcels of land designated as lots on this plat are originally intended for the construction of residential dwelling units thereon (or the placement of mobile home subdivision) and shall be restricted for some under the terms and conditions of such restrictions filed separately, unless otherwise noted.

IN WITNESS WHEREOF, Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC has caused these presents to be signed by Gary P. Sumner, Authorized Agent, thereto authorized, and it is a common seal hereto affixed.

the 14th day of April 2021

Patten Companies, LLC, as the manager for Republic Grand Ranch, LLC

Gary P. Sumner
By Gary P. Sumner, Authorized Agent

OWNERS ACKNOWLEDGEMENT FOR CORPORATIONS

STATE OF TEXAS
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared Gary P. Sumner, Authorized Agent for Republic Grand Ranch, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

Dated this 14th day of April 2021 by Shelby Ann Genovak
Shelby Ann Genovak
Notary Public for State of Texas

LIENHOLDERS ACKNOWLEDGEMENT & SUBORDINATION STATEMENT

STATE OF NORTH CAROLINA
COUNTY OF NEW HANOVER

I (or we), SHP Republic Grand Ranch, LLC, owner and holder of a lien against the property, said lien being evidenced by instrument of record under CFN# 201913827, 201913828, 2020053108 and 2020053106, Official Public Records of Montgomery County, Texas, do hereby in all things subordinate to said lien said lien, and I (or we) hereby confirm that I am (or we are) the present owner (or owners) of said lien and have not assigned the same nor any part thereof.

[Signature]
By SHP REPUBLIC GRAND RANCH, LLC.

NOTARY PUBLIC ACKNOWLEDGEMENT

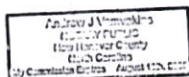
STATE OF NORTH CAROLINA
COUNTY OF NEW HANOVER

BEFORE ME, the undersigned authority, on this day personally appeared SHP REPUBLIC GRAND RANCH, LLC, herewith known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed, and in the capacity therein and herein set out, and as the act and deed of said corporation.

GIVEN UNDER MY HAND AND SEAL OF OFFICE.

Dated this 12th day of April 2021

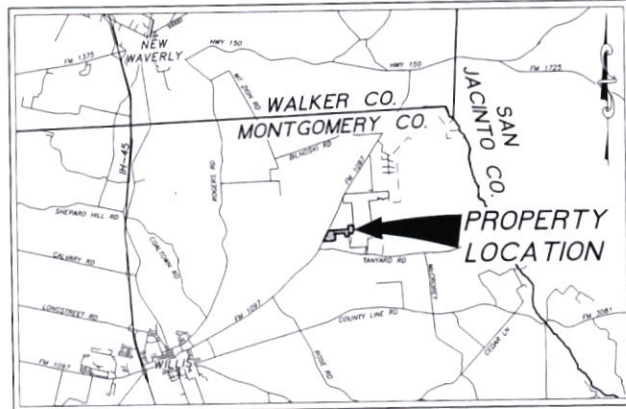
Notary Public for State of North Carolina



CERTIFICATION BY THE SURVEYOR

I, Michael A. Norman, am authorized (or registered) under the laws of the State of Texas to practice the profession of surveying and hereby certify that the above subdivision is a true and correct, was prepared from an actual survey of the property made under my supervision on the ground; that the elevation benchmarks reflected on the face of the plat was established as required by regulations; that all corners and single points of the boundaries of the original tract to be subdivided of reference have been marked with iron (or other suitable permanent metal) pipe or rods have a diameter of not less than five-eighths of an inch (5/8") and a length of not less than three feet (3'); and that the plat boundary corners have been tied to the nearest survey corner.

Michael A. Norman
4-14-2021
Michael A. Norman
Registered Professional Land Surveyor No. 6533



VICINITY MAP

Not To Scale

COUNTY ENGINEER'S ACKNOWLEDGEMENT

I, Jeff Johnson, P.E., County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing rules and regulations of this office as adopted by the Montgomery County Commissioners Court.

I further certify that the plat of this subdivision complies with requirements for internal subdivision drainage as adopted by Commissioners Court. However, no certification is hereby given as to the effect of drainage from this subdivision on the intercepting drainage artery or parent stream or on any other area of subdivision within the watershed.

Jeff Johnson
Jeff Johnson, P.E., County Engineer

APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Montgomery County, Texas has approved the Plat of REPUBLIC GRAND RANCH, SECTION 2.

DATED this 27th day of April 2021

[Signatures of Commissioners]
Robert C. Hines, Commissioner, Precinct 1
Mike K... County Judge
Chelle Riley, Commissioner, Precinct 2
... Commissioner, Precinct 3
... Commissioner, Precinct 4

CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS
COUNTY OF MONTGOMERY

I, Mark Turnbull, County Clerk of Montgomery County, Texas, do hereby certify that the within instrument with it's certificate of authentication was filed for registration in my office on

April 27, 2021
at 9:30 a.m. A.M. and duly recorded on
April 29, 2021
at 11:30 a.m. A.M. in Cabinet 2 sheet 7311
of record of map 5 for said County

WITNESS MY HAND AND SEAL OF OFFICE, at Conroe, Montgomery County, Texas, the day and date last above written.

Mark Turnbull, Clerk, County Court,
Montgomery County, Texas

Barbara Hines
By Barbara Hines, Deputy

PLAT OF

REPUBLIC GRAND RANCH
SECTION 2

CONTAINING 4 BLOCKS, 11 LOTS, 4 RESERVES

A SUBDIVISION CONTAINING 75.77 ACRES OF LAND,
OUT OF THE 136.6886 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2020053105,
AND OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827 MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

FEBRUARY 2021

Norman, Inc.
P.O. Box 1058, New Waverly, TX 77358
T89E13 From No. 1094090
936-661-3325

Job No. 20-053

DOC # 2021057497
Cabinet 002 Sheet 7312

SHEET 2 OF 6

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
10154 S.H. 150
New Mexico, TX 77358
888-773-1881

Renée Haines
Authorized Agent
P.O. Box 261
Sault Valley, AZ 86338
rhaines@republicgrandranch.com

REPUBLIC GRAND RANCH SECTION 2 BOUNDARY & R.O.W. LINE & CURVE TABLES

CURVE	ARC	LENGTH	RADIUS	CHORD BEARING	CHORD	LENGTH	DELTA ANGLE
C1	60.02'	60.00'	63.0855'	N 60.00° E	57.7132'		
C2	112.40'	210.00'	S 14°55'31" E	171.159'	215.5107'		
C3	266.92'	600.00'	N 79°48'02" E	564.84'	285.5119'		
C4	42.39'	569.91'	N 71°01'15" E	172.801'	150.7588'		
C5	154.47'	600.00'	S 71°01'15" E	172.801'	150.7588'		
C6	125.40'	600.00'	S 71°01'15" E	172.801'	150.7588'		
C7	151.81'	600.00'	S 79°48'02" E	149.16'	285.5119'		
C8	405.73'	600.00'	N 61°39'43" E	450.83'	48.7751'		
C9	42.31'	100.00'	S 75°43'54" E	42.00'	24.1437'		
C10	42.31'	100.00'	S 75°43'54" E	42.00'	24.1437'		
C11	43.57'	100.00'	S 54°04'23" E	31.74'	19.9495'		
C12	43.57'	100.00'	S 70°53'16" E	43.17'	24.9555'		
C13	81.92'	100.00'	S 67°53'16" E	79.28'	46.4573'		
C14	82.84'	100.00'	S 70°49'56" E	82.58'	15.4916'		
C15	65.44'	100.00'	S 84°59'50" E	65.31'	19.9595'		
C16	131.69'	630.00'	S 71°01'40" E	131.45'	175.6810'		
C17	179.11'	569.91'	S 71°01'43" E	178.90'	175.6810'		
C18	236.70'	470.00'	S 79°48'02" E	234.21'	285.5119'		

GENERAL NOTES

- The purpose of this plat is to create REPUBLIC GRAND RANCH SECTION 2, being out of a called 136.6886 acre tract recorded under Clerk's File Number 2020053105, Official Public Records, Montgomery County, Texas (MCOPR) and being out of the residue of a called 4818.84 acre tract recorded under Clerk's File Number 2019113827 MCOPR, and to dedicate the following:
 - the sixty (60) foot road rights-of-way,
 - the adjacent twenty (20) foot Public Utility Easements (PUE),
 - the twenty (20) foot Drainage Easements,
 - the twenty (20) foot Nature Trail Easements,
 - the Variable Width Private Drainage Easements, Drainage Easements and the twenty five (25) foot Walking Trail Easement not adjacent to the road rights-of-way as shown hereon, to the public.

- Bearings, Distances, Coordinates, Elevations and Acres hereon are referenced to the Texas State Plane Coordinate System, Central Zone, NAD 83 (2011), NAVD 88 (GEOID 18) and based upon NGS OPUS post-processing and GPS Observations. Said OPUS solution is based on NGS CORS IDs 8001 (PND 098955), DILV (PND 094502) and DHE (PND 091608). Distances are U.S. Survey Feet (Grid) and may be converted to geodetic horizontal (surface), by dividing by a Combined Scale factor of 0.9999076.

- Based on the graphic location of the available GIS data from the Federal Emergency Management Agency (FEMA) Flood Map Service Center (<https://msc.fema.gov/portal/search>) superimposed upon the subject tract, and based on the FEMA Flood Insurance Rate Maps, revised 18 August 2014, Montgomery County #480483, Map No. 48339C02500, Panel 02500, this property is located within:
 - Flood Hazard Zone "X" OTHER AREAS (areas determined to be outside the 0.2% annual chance floodplain).

- This statement does not imply that any portion of the subject tract is free of potential flood hazard, localized flooding can occur due to natural and/or man-made influences. This flood statement shall create no liability on the part of Namken, Inc. or the undersigned.

- Acres quantities shown on this survey are based upon the mathematical closure of the boundary courses and distances. Said quantities do not indicate the positional accuracy of the boundary monumentation.

- Exterior boundary lines of this subdivision which are common with the original survey boundary are monumented on the ground with iron rods or other stable material. Monuments shown hereon as found are controlling monuments, unless noted as reference only. Please review the record instruments cited hereon to compare the surveyed bearings and distances with the record calls.

- The Owner(s) hereby certify that prior to completion of this subdivision section and where physically possible all lot corners, angle points and points of curvature of the lots located within the subdivision will be monumented on the ground with 5/8" iron rods with 1-3/4" diameter blue plastic caps marked "MICHAEL A. NAMKEN RPLS 65333", UNLESS otherwise noted and with the exception that they are NOT set in the centerline of roadways nor at roadway intersections and points of curvature, as the symbols hereon may represent.

- All driveways in the subdivision shall be constructed of concrete or asphalt at owner's expense and shall be completed within twelve (12) months from the setting of forms for the foundation of said dwelling or structure. Further, the driveway or entrance to each lot from the pavement of the street shall be paved with concrete or asphalt.

- All lot setbacks shall be in accordance with the recorded covenants, conditions, and restrictions for REPUBLIC GRAND RANCH SECTION 2:
 - 100' Front Building Line along road rights-of-way for all lots 2.00 Acres and greater, Block 1, Unrestricted Reserve A and B, Block 2, Unrestricted Reserve C, Lots 1-8, Block 3, Lots 1 and 3, Block 4, Reserve D,
 - 75' Front Building Line along road rights-of-way for all lots 1.99 Acres and less, Block 3, Lot 2,
 - 20' Building Line along the Side lot lines of all lots,
 - 25' Building Line along the Rear lot lines of all lots.

- All Lots shown hereon will be subject to Covenants, Conditions and Restrictions for REPUBLIC GRAND RANCH SECTION 2, which will be recorded of Public Record after the acceptance and recording of this Final Plat of REPUBLIC GRAND RANCH SECTION 2.

- The site Bench Mark is shown on Sheet 4 OF 6. See the Datum information listed in Note 2 above.

SANITARY SEWER SERVICE

- Each lot will be required to utilize onsite sanitary sewer facilities (OSSF) for sanitary sewer service in accordance with state and local codes and regulations. Lot Owners are not prohibited from connecting to a public sanitary sewer collection system if service becomes available at some time in the future.

DRAINAGE AND IMPERVIOUS COVER

- Finished floor elevations shall be a minimum of twelve (12) inches above finished adjacent grade.

- The landowner is prohibited from constructing any improvements within any "Variable Width Private Drainage Easement" (VWDE) on this plat. Landowner may clear underbrush and establish foot trails within these "Variable Width Private Drainage Easements" but no vertical improvement development is allowed, except for driveways, culverts, and/or drainage improvements necessary for access to the lots. Fencing is allowed along the property lines located within these "Variable Width Private Drainage Easements" but with provisions not to impede the flow of storm water within the "Variable Width Private Drainage Easements".

- "Variable Width Private Drainage Easements" (VWDE) shall be maintained by Lot Owner(s) and/or Home and/or Property Owners Association and shall not be maintained by Montgomery County.

- The natural drainage channels (whether or not they are within a dedicated "DE or VWDE") that are located within various lots and unrestricted reserve areas throughout this subdivision may not be altered in any way. Landowner may clear underbrush and establish foot trails within these natural drainage channels but no vertical improvements/development will be allowed within the bounds of these easements. Fencing is allowed along the property lines located within these natural drainage channels with provisions not to impede the flow of storm water within the drainage channels.

- Lots, reserve and unrestricted reserve areas within the subdivision and the owners thereof must continue to accept all existing drainage flows and drainage structures in place or proposed at the time of development which are a part of or necessary to the public roads infrastructure or public system of drainage in addition to all natural flows of water entering onto or crossing the property. Local approval or consent must be given by the Montgomery County Engineer in writing prior to alteration of the drainage infrastructure hereon described. It is the responsibility of the lot owners to comply with any regulations or limitations noted, and permits issued by the Montgomery County for development do not act as a waiver or variance of the lot owner's responsibility to provide for excess runoff and drainage created by the permitted development.

REPUBLIC GRAND RANCH SECTION 2 VARIABLE WIDTH PRIVATE DRAINAGE EASEMENT LINE TABLES

LINE BEARING	DISTANCE
L1 S 13°18'16" E	18.03'
L2 S 30°50'02" W	42.44'
L3 S 13°18'16" E	28.23'
L4 S 08°59'59" E	10.99'
L5 S 75°52'28" W	42.78'
L6 S 10°44'00" W	32.69'
L7 S 13°18'16" E	41.14'
L8 S 20°07'05" E	72.89'
L9 S 16°00'31" E	49.92'
L10 S 19°18'04" E	118.70'
L11 S 23°51'39" E	69.17'
L12 S 44°05'25" E	29.95'
L13 S 01°17'50" E	22.71'
L14 S 31°02'42" W	55.60'
L15 S 13°03'57" W	71.12'
L16 S 15°53'54" W	101.73'
L17 S 62°00'58" W	21.36'
L18 S 22°52'23" W	108.17'
L19 S 38°14'07" W	91.09'
L20 S 70°02'05" W	134.18'
L21 N 21°57'14" E	193.33'
L22 N 85°59'59" E	151.70'
L23 N 10°27'59" E	36.96'
L24 N 38°04'19" E	77.76'
L25 N 19°42'15" E	65.31'
L26 N 07°31'37" E	13.66'
L27 S 3°18'49" W	56.26'
L28 S 61°56'39" W	26.57'
L29 S 17°57'42" W	70.31'
L30 S 59°17'11" W	33.74'
L31 S 65°22'09" W	15.03'
L32 S 79°10'39" W	36.79'
L33 S 32°04'31" W	40.81'
L34 S 11°59'06" W	15.42'
L35 S 10°05'17" W	47.20'
L36 S 25°52'23" E	14.12'
L37 S 08°16'58" E	40.10'
L38 S 18°45'29" E	14.54'
L39 S 48°33'49" W	23.58'
L40 S 00°54'00" E	51.36'
L41 S 48°45'29" E	28.38'
L42 S 38°14'49" W	81.78'
L43 S 51°09'47" E	49.65'
L44 S 18°02'25" E	104.61'
L45 S 04°11'45" E	55.03'
L46 S 14°32'28" E	20.40'
L47 S 41°55'45" W	13.73'
L48 S 68°46'48" W	33.12'

LINE BEARING	DISTANCE
L1 S 21°08'49" W	30.17'
L2 N 02°59'58" W	39.97'
L3 N 26°51'05" W	19.09'
L4 S 29°51'06" E	19.09'
L5 N 65°22'23" W	56.90'
L6 N 25°11'47" E	16.60'
L7 S 65°22'23" E	56.90'

LINE BEARING	DISTANCE
L107 S 16°13'52" W	18.89'
L108 S 08°28'55" E	47.53'
L109 S 02°59'59" E	21.09'
L110 S 08°59'59" E	21.09'
L111 S 13°18'16" E	30.70'
L112 S 01°04'00" W	32.69'
L113 S 09°25'59" E	164.11'
L114 S 41°48'13" E	27.79'
L115 S 27°12'42" W	29.60'
L116 S 19°42'15" E	40.73'
L117 S 19°03'14" E	78.10'
L118 S 62°05'14" E	16.71'
L119 S 84°42'06" E	51.16'
L120 S 35°58'08" W	48.79'
L121 S 53°01'19" E	52.67'
L122 S 00°50'03" E	15.74'
L123 S 42°09'51" W	35.60'
L124 S 18°12'42" E	49.17'
L125 S 18°51'51" E	103.38'
L126 S 14°49'19" E	114.77'
L127 S 33°37'20" W	57.64'
L128 S 19°18'16" E	36.04'
L129 S 59°12'51" E	44.40'
L130 S 42°59'38" W	32.23'
L131 S 03°02'19" W	69.66'
L132 S 14°56'39" W	101.62'
L133 S 31°00'59" W	111.99'
L134 S 55°48'11" W	46.39'
L135 S 72°28'08" W	155.93'
L136 S 84°34'04" W	53.67'
L137 N 82°25'35" W	52.03'
L138 N 40°49'17" E	65.10'
L139 N 20°51'31" E	126.18'
L140 N 46°39'50" E	27.76'
L141 S 44°16'58" E	16.13'
L142 S 68°45'29" E	28.38'
L143 S 31°16'44" E	36.14'
L144 S 17°26'57" E	44.94'
L145 S 08°45'29" E	28.38'
L146 S 38°14'49" W	81.78'
L147 S 58°58'29" W	55.24'
L148 S 81°17'10" W	27.79'
L149 S 50°10'30" W	37.60'

LEGEND

- Block Number
- Found Concrete Monument, size and type as noted
- Found 5/8" Iron Rod, with size and cap as noted
- Found 5/8" Iron Rod with 1 3/4" blue plastic cap and
- MICHAEL A. NAMKEN RPLS 65333 UNLESS otherwise noted
- Clerk's File Number
- Minimum Finished Floor Elevation
- FILE DE & NITE Public Utility Easement, Drainage Easement & Nature Trail Easement
- MCOPR Montgomery County Deed Records
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PLAT OF

REPUBLIC GRAND RANCH SECTION 2

CONTAINING 4 BLOCKS, 11 LOTS, 4 RESERVES

A SUBDIVISION CONTAINING 75.77 ACRES OF LAND,
OUT OF THE 136.6886 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE NO. 2020053105,
AND OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
NO. 2019113827 MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

FEBRUARY 2021

Namken, Inc.
P.O. Box 105 New Mexico, TX 77358
TAPES/1 Form No. 10 MCOPR
936-661-3325

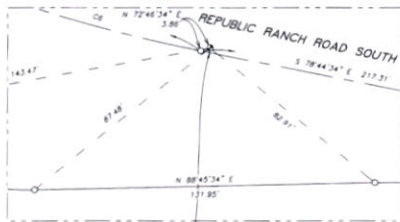
DOC # 2021057497
Cabinet 002 Sheet 7313

Job No. 20-053

SHEET 3 OF 6

DETAIL VIEW 'A'

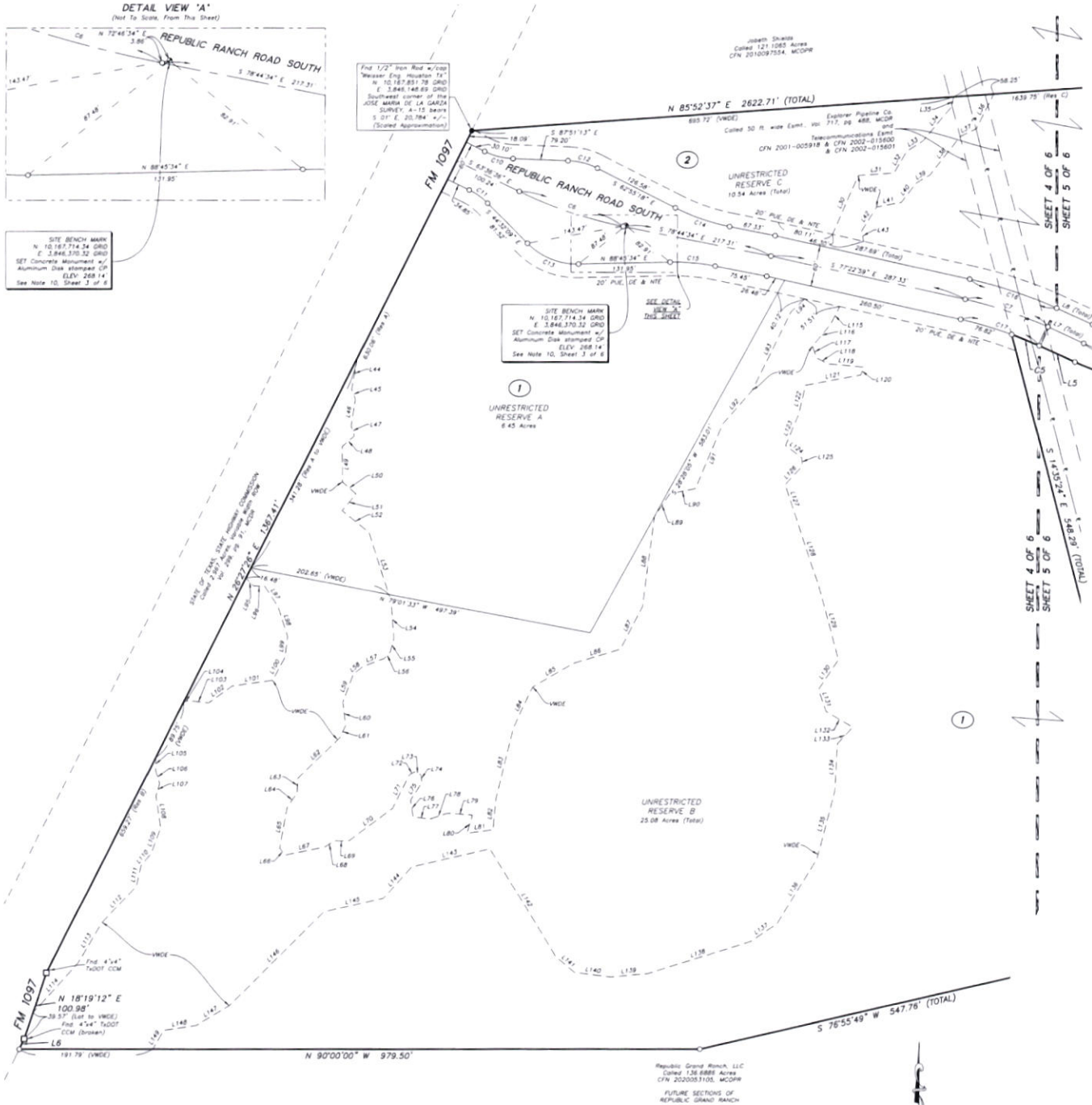
(Not To Scale, From This Sheet)



SITE BENCH MARK
N 10187.714.34 GRID
E 3.846.370.32 GRID
SET Concrete Monument w/
Aluminum Disk stamped CP
ELEV. 268.14'
See Note 10, Sheet 3 of 6

Find 1/2" Iron Rod w/cap
"Wester Eng. Houston Tx"
N 10187.714.34 GRID
E 3.846.370.32 GRID
Southeast corner of the
JOSE MARIA DE LA GARZA
SURVEY, 4-15 below
S 01° E 20.184' +/-
(Scaled Approximation)

SITE BENCH MARK
N 10187.714.34 GRID
E 3.846.370.32 GRID
SET Concrete Monument w/
Aluminum Disk stamped CP
ELEV. 268.14'
See Note 10, Sheet 3 of 6



OWNER / DEVELOPER
REPUBLIC GRAND RANCH, LLC
10158 S.W. 150
New Albany, TX 77358
832-715-1841
Bryan Hovess,
Authorized Agent
P.O. Box 361
Skull Valley, AZ 86338
rhovess@earthlink.net

LEGEND

- Block Number
- Found Concrete Monument, size and type as noted
- Found 5/8" Iron Rod, with size and cap as noted
- Found 5/8" Iron Rod with 1-3/4" blue plastic cap, red
- W/CHAMBER, A, SUBMITTER RPLS 65351, UNLESS otherwise noted
- Check's File Number
- Minimum Finished Floor Elevation
- Public Utility Easement, Drainage Easement & Nature Trail Easement
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DOC # 2021057497
Cabinet 002 Sheet 7314

FEBRUARY 2021

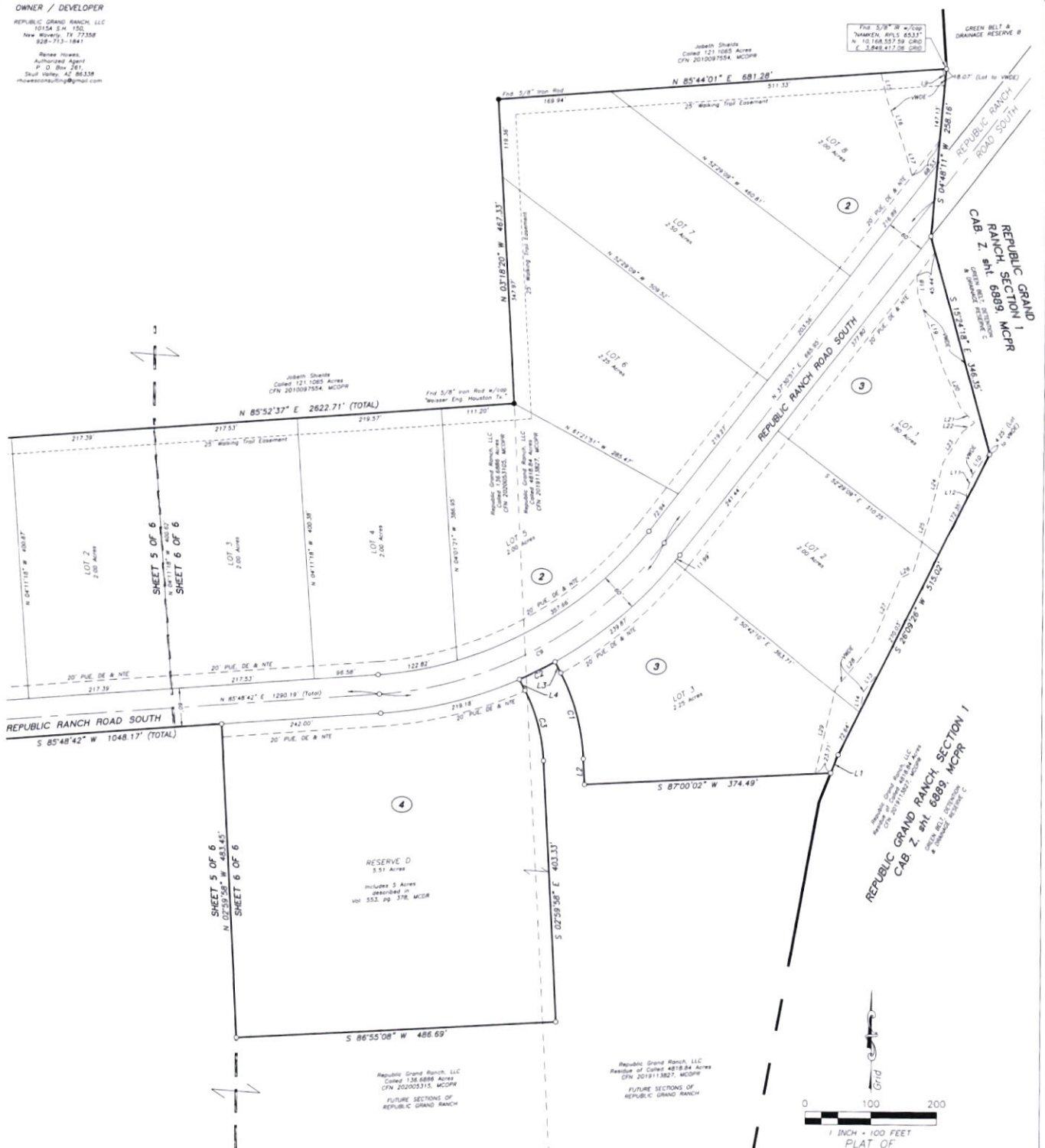
Nathan, Inc.
P.O. Box 155, New Albany, TX 77358
TBP/LS Firm No. 1034090
936-661-3525

Job No. 20-053

SHEET 4 OF 6

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
10154 S.H. 152
New Rivers, TX 77358
828-713-1841
Renee Flores,
Authorized Agent
P.O. Box 261,
Shall Valley, AZ 85338
rflores@republicgrandranch.com



**REPUBLIC GRAND RANCH
SECTION 2**

CONTAINING 4 BLOCKS, 11 LOTS, 4 RESERVES

A SUBDIVISION CONTAINING 75.77 ACRES OF LAND,
OUT OF THE 136.6886 ACRE REPUBLIC GRAND
RANCH, LLC TRACT, CLERK'S FILE No. 2020053105,
AND OUT OF THE RESIDUE OF THE 4818.84 ACRE
REPUBLIC GRAND RANCH, LLC TRACT, CLERK'S FILE
No. 2019113827 MONTGOMERY COUNTY
OFFICIAL PUBLIC RECORDS

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

FEBRUARY 2021

Northem, Inc.
P.O. Box 1188 New Rivers, TX 77358
TAPLES Firm No. 10340290
316-661-5325

DOC # 2021057497
Cabinet 002 Sheet 7316

JOB No. 20-053

SHEET 6 OF 6

LEGEND

- Block Number
- Found Concrete Monument, size and type as noted
- Found 5/8" Iron Rod, with size and cap as noted
- Found 5/8" Iron Rod with 3/4" blue plastic cap and
- NECHSEL & NORMAN WLS 6537 UNLESS OTHERWISE NOTED
- Clerk's File Number
- CFN
- MN, FF
- PUE, DE & NTE
- MCDR
- MCDR
- MCDR
- MCDR
- VND
- Minimum Finished Floor Elevation
- Public Utility Easement, Drainage Easement & Nature Trail Easement
- Montgomery County Deed Records
- Montgomery County Official Public Records
- Montgomery County Real Property Records
- Montgomery County Plat Records
- Variable Width Private Drainage Easement

INDIVIDUAL SHEETS INDEX

1	Vicinity Map and Sheet Number Layout
2	Certifications and Dedications
3	Notes, Line and Curve Tables
4	Blocks 1 and 2
5	Blocks 3 and 4
6	Blocks 5 and 6

Attachment 1H

OWNER / DEVELOPER

REPUBLIC GRAND RANCH SECTION 6 SHEET INDEX

JOSE MARIA DE LA GARZA SURVEY, A-22
WALKER COUNTY, TEXAS
MONTGOMERY COUNTY, TEXAS
JOSE MARIA DE LA GARZA SURVEY, A-15



LEGEND

- ① Block Number
- ② Lot
- ③ Easement
- ④ Easement
- ⑤ Easement
- ⑥ Easement
- ⑦ Easement
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INDIVIDUAL SHEETS INDEX

Sheet Number Layout	
1	Block 1
2	Block 2
3	Block 3
4	Block 4
5	Block 5
6	Block 6
7	Block 7
8	Block 8
9	Block 9
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93	Block 93
94	Block 94
95	Block 95
96	Block 96
97	Block 97
98	Block 98
99	Block 99
100	Block 100

REPUBLIC GRAND RANCH SECTION 6

CONTAINING 1,000 ACRES OF LAND
IN THE RESERVE OF THE 4818.44 ACRES
OF THE GRAND RANCH, 1/2 TRACT 100.00
ACRES, 1/2 TRACT 100.00 ACRES,
MONTGOMERY COUNTY, TEXAS
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

OWNERS ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF MONTGOMERY.

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed. My commission expires _____.

WITNESSE MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

NOTARY PUBLIC, My Comm. Expires _____.

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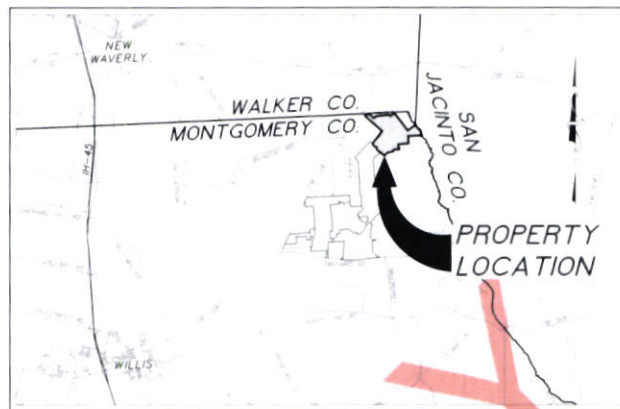
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VICINITY MAP

COUNTY ENGINEER'S ACKNOWLEDGEMENT

I, _____, County Engineer of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing laws and regulations of this county relating to the Montgomery County Subdivision Act.

I further certify that the plat of this subdivision complies with all requirements for drainage as required by the Montgomery County Subdivision Act, and that the drainage system shown on the plat is in accordance with the requirements of the Montgomery County Subdivision Act.

WITNESSE MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

NOTARY PUBLIC, My Comm. Expires _____.

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OWNERS ACKNOWLEDGEMENT FOR CORPORATIONS

STATE OF TEXAS,
COUNTY OF MONTGOMERY.

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed. My commission expires _____.

WITNESSE MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

NOTARY PUBLIC, My Comm. Expires _____.

My Comm. Expires _____.

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LIENHOLDERS ACKNOWLEDGEMENT & SUBORDINATION STATEMENT

STATE OF TEXAS,
COUNTY OF MONTGOMERY.

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and consideration therein expressed. My commission expires _____.

WITNESSE MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

NOTARY PUBLIC, My Comm. Expires _____.

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CERTIFICATION BY THE COUNTY CLERK

STATE OF TEXAS,
COUNTY OF MONTGOMERY.

I, _____, County Clerk of Montgomery County, Texas, do hereby certify that the plat of this subdivision complies with all of the existing laws and regulations of this county relating to the Montgomery County Subdivision Act.

I further certify that the plat of this subdivision complies with all requirements for drainage as required by the Montgomery County Subdivision Act, and that the drainage system shown on the plat is in accordance with the requirements of the Montgomery County Subdivision Act.

WITNESSE MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

NOTARY PUBLIC, My Comm. Expires _____.

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CERTIFICATION BY THE SURVEYOR

I, _____, Surveyor, do hereby certify that the plat of this subdivision complies with all of the existing laws and regulations of this county relating to the Montgomery County Subdivision Act.

I further certify that the plat of this subdivision complies with all requirements for drainage as required by the Montgomery County Subdivision Act, and that the drainage system shown on the plat is in accordance with the requirements of the Montgomery County Subdivision Act.

WITNESSE MY HAND AND SEAL OF OFFICE this _____ day of _____, 20____.

NOTARY PUBLIC, My Comm. Expires _____.

My Comm. Expires _____.

My Comm. Expires _____.

My Comm. Expires _____.

My Comm. Expires _____.

My Comm. Expires _____.

My Comm. Expires _____.

OWNER / DEVELOPER

REPUBLIC GRAND RANCH SECTION 6

CONTAINING 4.16 ACRES, FOR LOTS 2 & 3

4.16 ACRES, CONTAINING 4.16 ACRES OF LAND

SECTION 6 OF THE RESERVE OF THE 48TH & 49TH

REPUBLIC GRAND RANCH, SEC. 6, TRACT 1, CLARK & FOX

TRACT 1, CLARK & FOX, MONTGOMERY COUNTY, TEXAS

OFFICIAL PUBLIC RECORDS

JOSE MARIA DE LA GARZA SURVEY, A-15

MONTGOMERY COUNTY, TEXAS

JANUARY 2000

Surveyor's Office

1000 W. 14th Street, Suite 1000, Fort Worth, Texas 76102

JOSE MARIA DE LA GARZA SURVEY, A-22
WALKER COUNTY, TEXAS
MONTGOMERY COUNTY, TEXAS
JOSE MARIA DE LA GARZA SURVEY, A-15

DETAIL VIEW
"SITE BENCH MARK"

A map of the area around Grand North Road. A red circle highlights a specific location on the road, which is the proposed development site. The road is labeled "GRAND NORTH ROAD".

1	Species Number 1-6	11	Species 5
2	Life history, distributions and ecology, Map	12	Species 6
3	Species, Life and Culture Notes	13	Species 1 and 6
4	Block 1 and 7, Site Bench Mark	14	Species 5 and 6
5	Block 1 and 6	15	Species 2, 3 and 6
6	Block 2 and 6	16	Block 2
7	Block 2 and 6	17	Block 5
8	Block 1 and 6	18	Species 4 and 6
9	Block 6	19	Species 2, 3, 4, 5 and 6
10	Block 2 and 6		

REPUBLIC GRAND RANCH
SECTION 6

CONCLUDING REMARKS AND FUTURE RESEARCH

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 4 OF 19

N 85°07'19" E 1395.65' (TOTAL)
HIGH BRANCH WAY

HIGH BRANCH WAY

SHEET 5 OF 19
SHEET 4 OF 19

SHEET 4 OF 19
SHEET 5 OF 19

A close-up photograph of a red street sign. The sign is rectangular and features the text 'GRAND NORTH ROAD' in white, bold, sans-serif capital letters. The sign is mounted on a metal post, and the background shows a blurred view of a street and buildings.

SHEET 5 OF 19
GROVE CT
SHEET

SHEET 5 OF 19

SHEET 5 OF 19

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 5 OF 19



JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 6 OF 19

SHEET 7 OF 19
SHEET 10 OF 19

INDIVIDUAL SHEETS INDEX		
1	Sheet 1	Block 1
2	Continuation, Sheet 2 and 3 of Block 1	Block 1
3	Notes, Line and Color Maps	Blocks 1 and 2
4	Block 1 and 2, The Bench Map	Blocks 2 and 6
5	Block 1 and 2	Blocks 2, 3 and 6
6	Block 3 and 6	Block 2
7	Blocks 2 and 6	Block 2 and 6
8	Block 2 and 6	Block 2 and 6
9	Block 6	Blocks 2, 3, 4 and 6
10	Block 2 and 6	

Lyons, Inc.
P.O. Box 58 New Haven, Ct. 06518
TOLL FREE No. 1-840-901
9 to 5, 11 to 5

SHEET 7 OF 19



CONTAINING 7 BLOCKS, 126 CWT. OF RESERVES

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 8 OF 19

INDIVIDUAL SHEETS INDEX		
1	Sheet Number - 1	Box 1
2	Sheet Number - 2	Box 1
3	Sheet Number - 3	Box 1 and 2
4	Sheet Number - 4	Box 1 and 2
5	Sheet Number - 5	Box 1 and 2
6	Sheet Number - 6	Box 1 and 2
7	Sheet Number - 7	Box 1 and 2
8	Sheet Number - 8	Box 1 and 2
9	Sheet Number - 9	Box 1 and 2
10	Sheet Number - 10	Box 1 and 2
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99	Sheet Number - 99	Box 1 and 2
100	Sheet Number - 100	Box 1 and 2

- LEGEND

OWNER / DEVELOPER

REPUBLIC GRAND RANCH
30750 Highway 19, Suite 100
New Braunfels, TX 78130
(817) 791-1111
www.republicgrandranch.com

LEGEND

- ① Block Number
- ② Road Centerline, Right-of-Way, and Right-of-Way Extension
- ③ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ④ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ⑤ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ⑥ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ⑦ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ⑧ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ⑨ Road Centerline, Right-of-Way, and Right-of-Way Extension
- ⑩ Road Centerline, Right-of-Way, and Right-of-Way Extension
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- ⑬ Road Centerline, Right-of-Way, and Right-of-Way Extension
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- ㊿ Road Centerline, Right-of-Way, and Right-of-Way Extension

INDIVIDUAL SHEETS INDEX

Sheet Number	Block
1	Block 1
2	Block 2
3	Block 3
4	Block 4
5	Block 5
6	Block 6
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97	Block 97
98	Block 98
99	Block 99
100	Block 100

REPUBLIC GRAND RANCH
SECTION 6

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES

SECTION 6, T12N, R12E, S12E, 44.98 ACRES



CONTAINING 1 BULLOCK, 196 LOTS, 3 RESERVES

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 11 OF 19

	Win
0	Faulty (single) Monogram type and type as normal
1	Faulty (double) Monogram type and type as normal
2	Faulty (12") from Red Flag with type as normal; otherwise normal
3	Faulty (6") from Red Flag with type as normal
4	Faulty (Red Flag) from Red Flag with type as normal
5	Monogram A, Submonogram B, C, D, E, F, G, H, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z, AA, AB, AC, AD, AE, AF, AG, AH, AI, AJ, AK, AL, AM, AN, AO, AP, AQ, AR, AS, AT, AU, AV, AW, AX, AY, AZ, BA, BB, BC, BD, BE, BF, BG, BH, BI, BJ, BK, BL, BM, BN, BO, BP, BQ, BR, BS, BT, BU, BV, BW, BX, BY, BZ, CA, CB, CC, CD, CE, CF, CG, CH, CI, CJ, CK, CL, CM, CN, CO, CP, CQ, CR, CS, CT, CU, CV, CW, CX, CY, CZ, DA, DB, DC, DD, DE, DF, DG, DH, DI, DJ, DK, DL, DM, DN, DO, DP, DQ, DR, DS, DT, DU, DV, DW, DX, DY, DZ, EA, EB, EC, ED, EE, EF, EG, EH, EI, EJ, EK, EL, EM, EN, EO, EP, EQ, ER, ES, ET, EU, EV, EW, EX, EY, EZ, FA, FB, FC, FD, FE, FF, FG, FH, FI, FJ, FK, FL, FM, FN, FO, FP, FQ, FR, FS, FT, FU, FV, FW, FX, FY, FZ, GA, GB, GC, GD, GE, GF, GG, GH, GI, GJ, GK, GL, GM, GN, GO, GP, GQ, GR, GS, GT, GU, GV, GW, GX, GY, GZ, HA, HB, HC, HD, HE, HF, HG, HH, HI, HJ, HK, HL, HM, HN, HO, HP, HQ, HR, HS, HT, HU, HV, HW, HX, HY, HZ, IA, IB, IC, ID, IE, IF, IG, IH, II, IJ, IK, IL, IM, IN, IO, IP, IQ, IR, IS, IT, IU, IV, IW, IX, IY, IZ, JA, JB, JC, JD, JE, JF, JG, JH, JI, JJ, JK, JL, JM, JN, JO, JP, JQ, JR, JS, JT, JU, JV, JW, JX, JY, JZ, KA, KB, KC, KD, KE, KF, KG, KH, KI, KJ, KK, KL, KM, KN, KO, KP, KQ, KR, KS, KT, KU, KV, KW, KX, KY, KZ, LA, LB, LC, LD, LE, LF, LG, LH, LI, LJ, LK, LL, LM, LN, LO, LP, LQ, LR, LS, LT, LU, LV, LW, LX, LY, LZ, MA, MB, MC, MD, ME, MF, MG, MH, MI, MJ, MK, ML, MM, MN, MO, MP, MQ, MR, MS, MT, MU, MV, MW, MX, MY, MZ, NA, NB, NC, ND, NE, NF, NG, NH, NI, NJ, NK, NL, NM, NN, NO, NP, NQ, NR, NS, NT, NU, NV, NW, NX, NY, NZ, OA, OB, OC, OD, OE, OF, OG, OH, OI, OJ, OK, OL, OM, ON, OO, OP, OQ, OR, OS, OT, OU, OV, OW, OX, OY, OZ, PA, PB, PC, PD, PE, PF, PG, PH, PI, PJ, PK, PL, PM, PN, PO, PP, PQ, PR, PS, PT, PU, PV, PW, PX, PY, PZ, QA, QB, QC, QD, QE, QF, QG, QH, QI, QJ, QK, QL, QM, QN, QO, QP, QQ, QR, QS, QT, QU, QV, QW, QX, QY, QZ, RA, RB, RC, RD, RE, RF, RG, RH, RI, RJ, RK, RL, RM, RN, RO, RP, RQ, RR, RS, RT, RU, RV, RW, RX, RY, RZ, SA, SB, SC, SD, SE, SF, SG, SH, SI, SJ, SK, SL, SM, SN, SO, SP, SQ, SR, SS, ST, SU, SV, SW, SX, SY, SZ, TA, TB, TC, TD, TE, TF, TG, TH, TI, TJ, TK, TL, TM, TN, TO, TP, TQ, TR, TS, TT, TU, TV, TW, TX, TY, TZ, UA, UB, UC, UD, UE, UF, UG, UH, UI, UJ, UK, UL, UM, UN, UO, UP, UQ, UR, US, UT, UU, UV, UW, UX, UY, UZ, VA, VB, VC, VD, VE, VF, VG, VH, VI, VJ, VK, VL, VM, VN, VO, VP, VQ, VR, VS, VT, VU, VW, VX, VY, VZ, WA, WB, WC, WD, WE, WF, WG, WH, WI, WJ, WK, WL, WM, WN, WO, WP, WQ, WR, WS, WT, WU, WV, WW, WX, WY, WZ, XA, XB, XC, XD, XE, XF, XG, XH, XI, XJ, XK, XL, XM, XN, XO, XP, XQ, XR, XS, XT, XU, XV, XW, XX, XY, XZ, YA, YB, YC, YD, YE, YF, YG, YH, YI, YJ, YK, YL, YM, YN, YO, YP, YQ, YR, YS, YT, YU, YV, YW, YX, YY, YZ, ZA, ZB, ZC, ZD, ZE, ZF, ZG, ZH, ZI, ZJ, ZK, ZL, ZM, ZN, ZO, ZP, ZQ, ZR, ZS, ZT, ZU, ZV, ZW, ZX, ZY, ZZ



SHEET 12 OF 19

SHEET 8 OF 19
SHEET 13 OF 19

SHEET 13 OF 19

SHEET 13 OF 19
SHEET 17 OF 19

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 13 OF 19

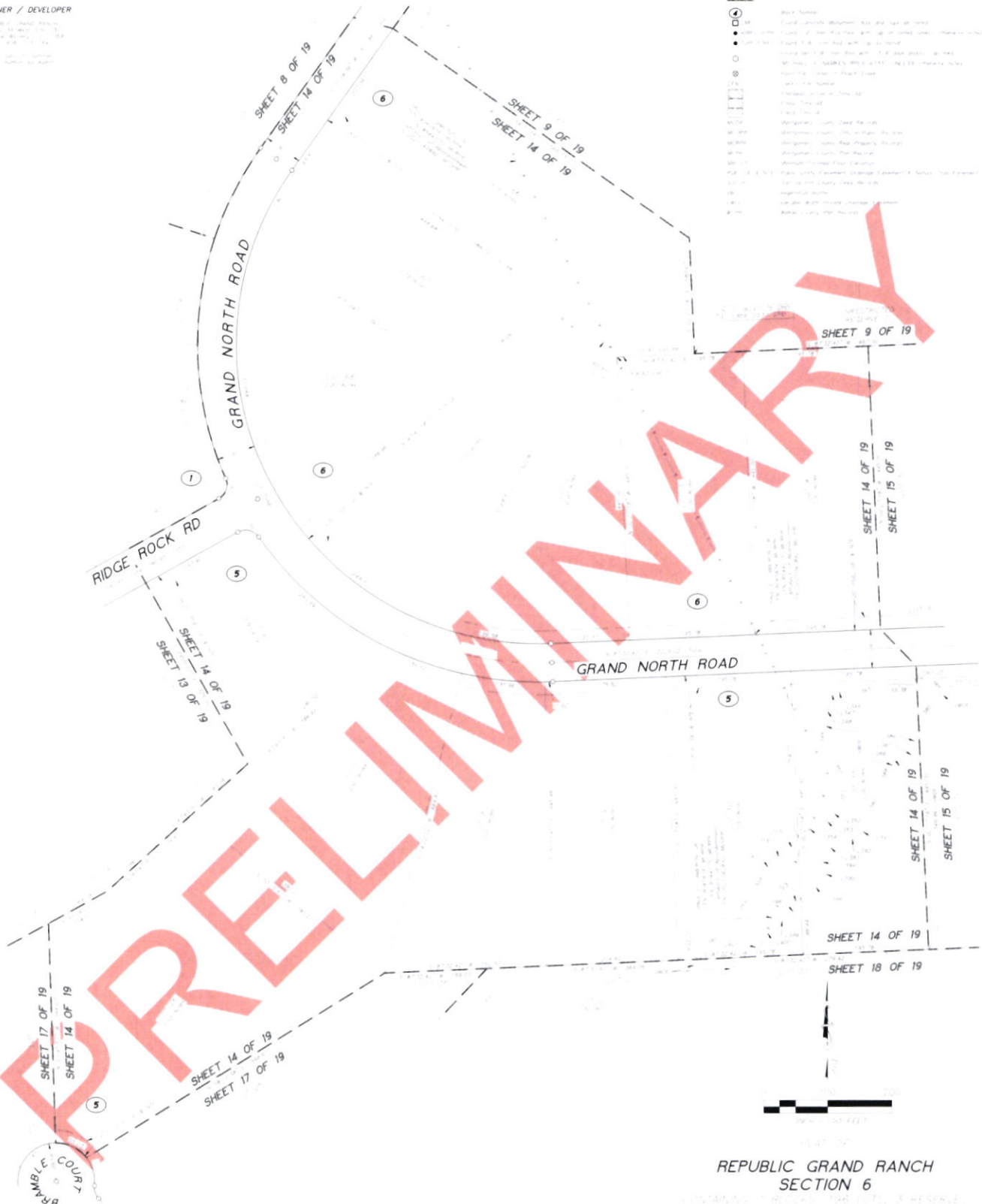
OWNER / DEVELOPER

JOSE MARIA DE LA GARZA, INC.
10000 N. 10th Street, Suite 100
Dallas, Texas 75243
Phone: (214) 343-1111
Fax: (214) 343-1112

DATE: 1/20/2022
BY: JMG

LEGEND

- 1. Section Boundary
- 2. Easement Boundary
- 3. Easement Boundary
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- 100. Easement Boundary



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1. Section Boundary	14. Blocks 5 and 6	27. Blocks 1 and 2
2. Easement Boundary	15. Blocks 3 and 4	28. Blocks 3 and 4
3. Easement Boundary	16. Blocks 5 and 6	29. Blocks 5 and 6
4. Easement Boundary	17. Blocks 7 and 8	30. Blocks 7 and 8
5. Easement Boundary	18. Blocks 9 and 10	31. Blocks 9 and 10
6. Easement Boundary	19. Blocks 11 and 12	32. Blocks 11 and 12
7. Easement Boundary	20. Blocks 13 and 14	33. Blocks 13 and 14
8. Easement Boundary	21. Blocks 15 and 16	34. Blocks 15 and 16
9. Easement Boundary	22. Blocks 17 and 18	35. Blocks 17 and 18
10. Easement Boundary	23. Blocks 19 and 20	36. Blocks 19 and 20
11. Easement Boundary	24. Blocks 21 and 22	37. Blocks 21 and 22
12. Easement Boundary	25. Blocks 23 and 24	38. Blocks 23 and 24
13. Easement Boundary	26. Blocks 25 and 26	39. Blocks 25 and 26

REPUBLIC GRAND RANCH
SECTION 6

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
DATE: 1/20/2022
BY: JMG



INDIVIDUAL SHEETS INDEX		
1	Sheet Number 1	Block 1
2	Leaflet of "Declaration of the Community Map"	Block 2
3	Notes	Blocks 2 and 3
4	Block 1 and 2 Site Plans - Maps	Blocks 2 and 3
5	Block 1 and 2	75 Blocks 2, 5 and 6
6	Block 2 and 6	Block 3
7	Blocks 2 and 6	Block 3
8	Block 2 and 6	Block 3 and 4
9	Block 2 and 6	13 Blocks 1, 4, 5 and 6

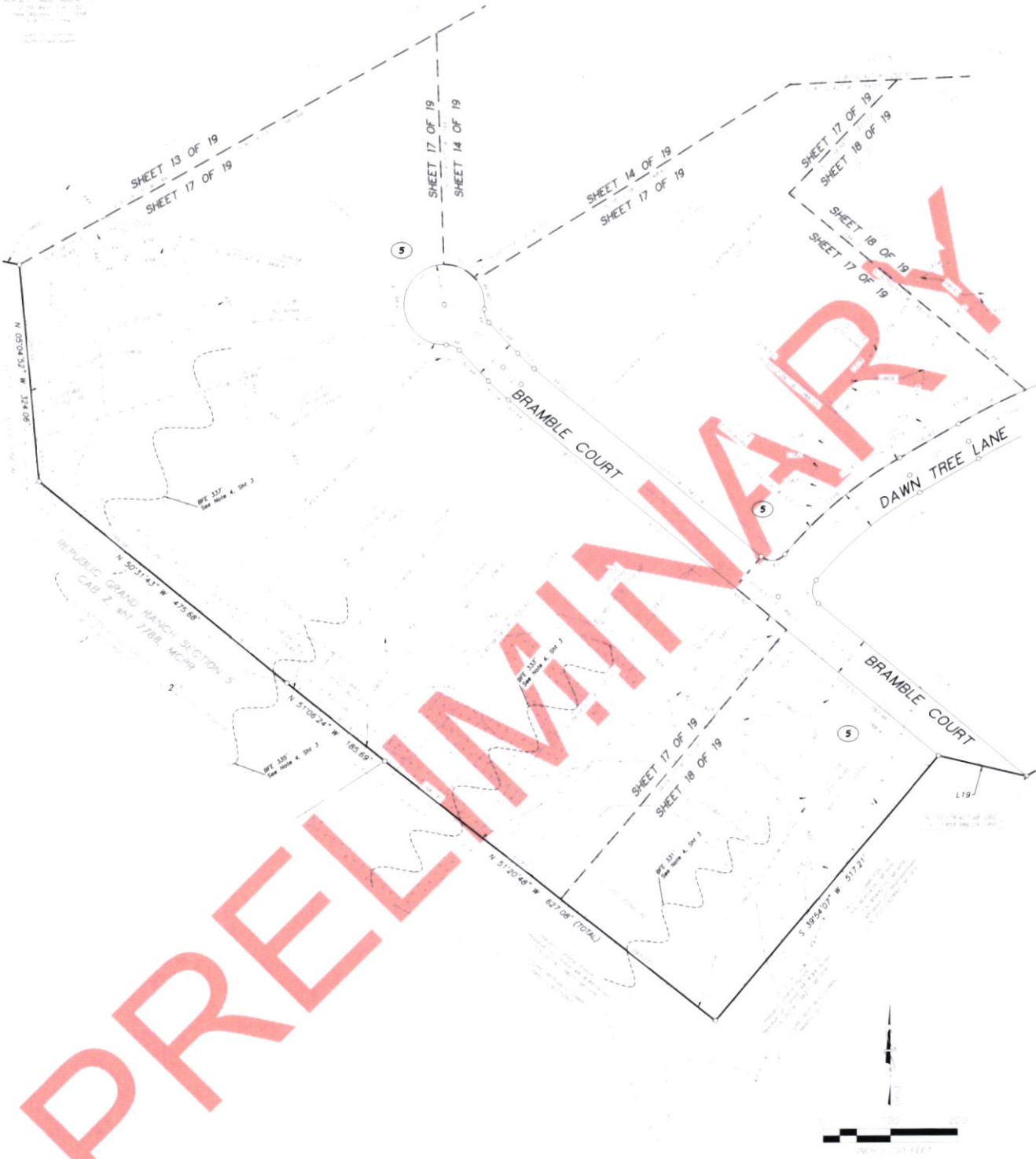
SHEET 15 OF 19



N:\NSCI Jobs\01 Survey\JOBS-21\21-014 RGR SECTION 6\DWGS\PLAT - 56\21-014 RGR 56 PLAT.dwg, SHT 16, 1/20/2022 2:48:12 PM, AMH

OWNER / DEVELOPER

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
1/20/2022 2:48:27 PM, AMH



LEGEND

- 1. Block 1
- 2. Block 2
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- 99. Block 99
- 100. Block 100

INDIVIDUAL SHEETS INDEX

1	Block 1	11	Block 11
2	Block 2	12	Block 12
3	Block 3	13	Block 13
4	Block 4	14	Block 14
5	Block 5	15	Block 15
6	Block 6	16	Block 16
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44	Block 44	54	Block 54
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85	Block 85	95	Block 95
86	Block 86	96	Block 96
87	Block 87	97	Block 97
88	Block 88	98	Block 98
89	Block 89	99	Block 99
90	Block 90	100	Block 100

REPUBLIC GRAND RANCH
SECTION 6

CONTAINING 100 BLOCKS, 100 LOTS, 3 RESERVES
A-15 SURVEY, A-15, 1/20/2022 2:48:27 PM, AMH
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS



SHEET 18 OF 19

INDIVIDUAL SHEETS INDEX			
Sheet	Sheet Number	Block	Block
1	1	Block 1	Block 1
2	2	Block 1 and 2	Block 1 and 2
3	3	Block 1 and 2	Block 1 and 2
4	4	Block 1 and 2	Block 1 and 2
5	5	Block 1 and 2	Block 1 and 2
6	6	Block 1 and 2	Block 1 and 2
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98	98	Block 1 and 2	Block 1 and 2
99	99	Block 1 and 2	Block 1 and 2
100	100	Block 1 and 2	Block 1 and 2

REPUBLIC GRAND RANCH SECTION 7 SHEET INDEX

OWNER / DEVELOPER

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
10/15/2021 10:00 AM
10/15/2021 10:00 AM



**PRELIMINARY
NOT FOR RECORD**

REPUBLIC GRAND RANCH
SECTION 7

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

LEGEND

- (1) Block Number
- (2) County Line
- (3) State Line
- (4) Section Line
- (5) Township Line
- (6) Range Line
- (7) Meridian Line
- (8) Survey Line
- (9) Easement Line
- (10) Right-of-Way Line
- (11) Unrestricted Reserve
- (12) Detention Pond
- (13) Water Body
- (14) Road
- (15) Fence
- (16) Well
- (17) Power Line
- (18) Pipeline
- (19) Other

INDIVIDUAL SHEETS INDEX

Sheet Number	Block Number	Block Description
1	1	Block 1
2	2	Block 2
3	3	Block 3
4	4	Block 4
5	5	Block 5
6	6	Block 6
7	7	Block 7
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18	18	Block 18
19	19	Block 19

OWNERS ACKNOWLEDGEMENT AND DEDICATION

STATE OF TEXAS,
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public for State of Texas

My Comm. Expires _____

My Comm. No. _____

My Comm. Exp. Date _____

My Comm. No. _____

My Comm. Exp. Date _____

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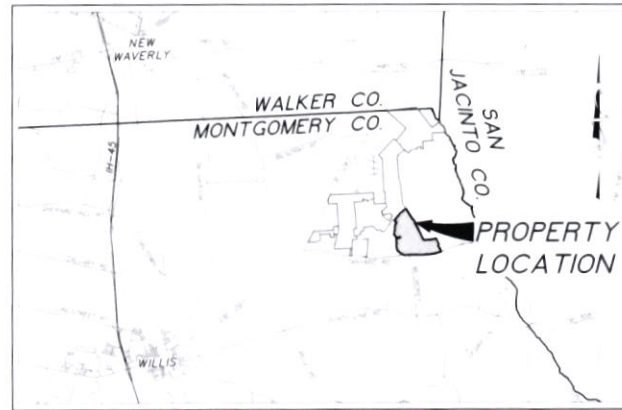
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VICINITY MAP

COUNTY ENGINEER'S ACKNOWLEDGEMENT

I, _____, County Engineer of Montgomery County, Texas, do hereby certify that the plan of this subdivision complies with all of the existing laws and regulations of this state as applied to the Montgomery County Commissioners Court.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public for State of Texas

My Comm. Expires _____

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OWNERS ACKNOWLEDGEMENT FOR CORPORATIONS

STATE OF TEXAS,
COUNTY OF MONTGOMERY

BEFORE ME, the undersigned authority, on this day personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that he executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public for State of Texas

My Comm. Expires _____

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APPROVAL OF COMMISSIONERS COURT

This is to certify that the Commissioners Court of Montgomery County, Texas has approved the plan of this subdivision.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public for State of Texas

My Comm. Expires _____

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LIENHOLDERS ACKNOWLEDGEMENT & SUBORDINATION STATEMENT

STATE OF NORTH CAROLINA,
COUNTY OF NEW HANOVER

I, _____, of the County of _____, State of _____, do hereby acknowledge and agree that the lien of the mortgage recorded in the public records of the County of _____, State of _____, shall be subordinate to the lien of the mortgage recorded in the public records of the County of _____, State of _____, in the event of foreclosure of either mortgage.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public for State of North Carolina

My Comm. Expires _____

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**PRELIMINARY
NOT FOR RECORD**

CERTIFICATION BY THE SURVEYOR

I, _____, Surveyor of Montgomery County, Texas, do hereby certify that the plan of this subdivision complies with all of the existing laws and regulations of this state as applied to the Montgomery County Commissioners Court.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this _____ day of _____, 2021.

Notary Public for State of Texas

My Comm. Expires _____

My Comm. No. _____

My Comm. Exp. Date _____

My Comm. No. _____

OWNER / DEVELOPER

REPUBLIC GRAND RANCH, LLC
Carey A. Garza, President
12100 N. Loop West, Suite 100
Houston, Texas 77040
Tel: 281.460.1111

REPUBLIC GRAND RANCH
SECTION 7

CONTAINING 7.00 ACRES OF LAND

ACROSS FROM THE 48TH & 49TH STS. INTERSECTION

IN THE COUNTY OF MONTGOMERY, TEXAS

JOSE MARIA DE LA GARZA SURVEY, A-15

MONTGOMERY COUNTY, TEXAS

DECEMBER 2021

Surveyor

12100 N. Loop West, Suite 100

Houston, Texas 77040

Tel: 281.460.1111

Fax: 281.460.1112

12100 N. Loop West, Suite 100

Houston, Texas 77040

Tel: 281.460.1111

Fax: 281.460.1112

PRELIMINARY - NOT FOR RECORD

Michael A. Surver
Professional Surveyor License No. 8533

LEGEND

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JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 3 OF 19



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JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 4 OF 19

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REPUBLIC GRAND RANCH
SECTION 7

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 6 OF 19

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Journal of Internal Medicine 255: 111–117



REPUBLIC GRAND RANCH
SECTION 7

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

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INDIVIDUAL SHEETS INDEX		
1	Year Number and	Blocks 1, 2, 3 and 4
2	estimation of the number of fish, Males	Blocks 4 and 5
3	Female, size and color pattern	Block 4
4	Blocks 4 and 5	Blocks 5 and 6
5	Blocks 5 and 6	Blocks 7 and 8
6	Block 7	Blocks 4, 5 and 6
7	Block 8	Block 8
8	Blocks 5 and 6	Block 7 and 8, Tail Branch, Skops
9	Blocks 4 and 5	Block 6
	Block 4	

SHEET 9 OF 19



REPUBLIC GRAND RANCH
SECTION 7

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 10 OF 19

[illegible]

OWNER / DEVELOPER

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
SHEET 11 OF 19

DATE: 12/20/2021

TIME: 9:53:17 AM

USER: JMG

PROJECT: JOSE MARIA DE LA GARZA SURVEY, A-15

FILE: JOSE MARIA DE LA GARZA SURVEY, A-15

PLAT: JOSE MARIA DE LA GARZA SURVEY, A-15

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PLAT: JOSE MARIA DE LA GARZA SURVEY, A-15

SECTION: 7

SHEET: 11 OF 19

DATE: 12/20/2021

TIME: 9:53:17 AM

USER: JMG

PROJECT: JOSE MARIA DE LA GARZA SURVEY, A-15

FILE: JOSE MARIA DE LA GARZA SURVEY, A-15

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SECTION: 7

SHEET: 11 OF 19

**PRELIMINARY
NOT FOR RECORD**

LEGEND

1. Survey Boundary

2. Survey Boundary

3. Survey Boundary

4. Survey Boundary

5. Survey Boundary

6. Survey Boundary

7. Survey Boundary

8. Survey Boundary

9. Survey Boundary

10. Survey Boundary

11. Survey Boundary

12. Survey Boundary

13. Survey Boundary

14. Survey Boundary

15. Survey Boundary

16. Survey Boundary

17. Survey Boundary

18. Survey Boundary

19. Survey Boundary

INDIVIDUAL SHEETS INDEX

Sheet Number	Block
1	Block 1
2	Block 2
3	Block 3
4	Block 4
5	Block 5
6	Block 6
7	Block 7
8	Block 8
9	Block 9
10	Block 10
11	Block 11
12	Block 12
13	Block 13
14	Block 14
15	Block 15
16	Block 16
17	Block 17
18	Block 18
19	Block 19

REPUBLIC GRAND RANCH
SECTION 7

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 11 OF 19

OWNER / DEVELOPER

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
12/20/2021 9:53:26 AM AMH

**PRELIMINARY
NOT FOR
RECORD**

LEGEND

- Block Number
- Found Locality Monument, size and type as noted
- Found Tree Mark
- Found Flag Pole Mark
- Found 1/2" Iron Rod with cap as noted unless otherwise noted
- Found 5/8" Iron Rod with cap as noted
- Found 3/4" Iron Rod with cap as noted
- Found 1" Iron Rod with cap as noted
- Found 1 1/2" Iron Rod with cap as noted
- Found 2" Iron Rod with cap as noted
- Found 3" Iron Rod with cap as noted
- Found 4" Iron Rod with cap as noted
- Found 6" Iron Rod with cap as noted
- Found 8" Iron Rod with cap as noted
- Found 10" Iron Rod with cap as noted
- Found 12" Iron Rod with cap as noted
- Found 14" Iron Rod with cap as noted
- Found 16" Iron Rod with cap as noted
- Found 18" Iron Rod with cap as noted
- Found 20" Iron Rod with cap as noted
- Found 22" Iron Rod with cap as noted
- Found 24" Iron Rod with cap as noted
- Found 26" Iron Rod with cap as noted
- Found 28" Iron Rod with cap as noted
- Found 30" Iron Rod with cap as noted
- Found 32" Iron Rod with cap as noted
- Found 34" Iron Rod with cap as noted
- Found 36" Iron Rod with cap as noted
- Found 38" Iron Rod with cap as noted
- Found 40" Iron Rod with cap as noted
- Found 42" Iron Rod with cap as noted
- Found 44" Iron Rod with cap as noted
- Found 46" Iron Rod with cap as noted
- Found 48" Iron Rod with cap as noted
- Found 50" Iron Rod with cap as noted
- Found 52" Iron Rod with cap as noted
- Found 54" Iron Rod with cap as noted
- Found 56" Iron Rod with cap as noted
- Found 58" Iron Rod with cap as noted
- Found 60" Iron Rod with cap as noted
- Found 62" Iron Rod with cap as noted
- Found 64" Iron Rod with cap as noted
- Found 66" Iron Rod with cap as noted
- Found 68" Iron Rod with cap as noted
- Found 70" Iron Rod with cap as noted
- Found 72" Iron Rod with cap as noted
- Found 74" Iron Rod with cap as noted
- Found 76" Iron Rod with cap as noted
- Found 78" Iron Rod with cap as noted
- Found 80" Iron Rod with cap as noted
- Found 82" Iron Rod with cap as noted
- Found 84" Iron Rod with cap as noted
- Found 86" Iron Rod with cap as noted
- Found 88" Iron Rod with cap as noted
- Found 90" Iron Rod with cap as noted
- Found 92" Iron Rod with cap as noted
- Found 94" Iron Rod with cap as noted
- Found 96" Iron Rod with cap as noted
- Found 98" Iron Rod with cap as noted
- Found 100" Iron Rod with cap as noted
- Found 102" Iron Rod with cap as noted
- Found 104" Iron Rod with cap as noted
- Found 106" Iron Rod with cap as noted
- Found 108" Iron Rod with cap as noted
- Found 110" Iron Rod with cap as noted
- Found 112" Iron Rod with cap as noted
- Found 114" Iron Rod with cap as noted
- Found 116" Iron Rod with cap as noted
- Found 118" Iron Rod with cap as noted
- Found 120" Iron Rod with cap as noted
- Found 122" Iron Rod with cap as noted
- Found 124" Iron Rod with cap as noted
- Found 126" Iron Rod with cap as noted
- Found 128" Iron Rod with cap as noted
- Found 130" Iron Rod with cap as noted
- Found 132" Iron Rod with cap as noted
- Found 134" Iron Rod with cap as noted
- Found 136" Iron Rod with cap as noted
- Found 138" Iron Rod with cap as noted
- Found 140" Iron Rod with cap as noted
- Found 142" Iron Rod with cap as noted
- Found 144" Iron Rod with cap as noted
- Found 146" Iron Rod with cap as noted
- Found 148" Iron Rod with cap as noted
- Found 150" Iron Rod with cap as noted
- Found 152" Iron Rod with cap as noted
- Found 154" Iron Rod with cap as noted
- Found 156" Iron Rod with cap as noted
- Found 158" Iron Rod with cap as noted
- Found 160" Iron Rod with cap as noted
- Found 162" Iron Rod with cap as noted
- Found 164" Iron Rod with cap as noted
- Found 166" Iron Rod with cap as noted
- Found 168" Iron Rod with cap as noted
- Found 170" Iron Rod with cap as noted
- Found 172" Iron Rod with cap as noted
- Found 174" Iron Rod with cap as noted
- Found 176" Iron Rod with cap as noted
- Found 178" Iron Rod with cap as noted
- Found 180" Iron Rod with cap as noted
- Found 182" Iron Rod with cap as noted
- Found 184" Iron Rod with cap as noted
- Found 186" Iron Rod with cap as noted
- Found 188" Iron Rod with cap as noted
- Found 190" Iron Rod with cap as noted
- Found 192" Iron Rod with cap as noted
- Found 194" Iron Rod with cap as noted
- Found 196" Iron Rod with cap as noted
- Found 198" Iron Rod with cap as noted
- Found 200" Iron Rod with cap as noted

INDIVIDUAL SHEETS INDEX			
1	Block 1	12	Block 4 and 5
2	Block 2	13	Block 4
3	Block 3	14	Block 5 and 6
4	Block 4	15	Block 6 and 7
5	Block 5	16	Block 7 and 8
6	Block 6	17	Block 8 and 9
7	Block 7	18	Block 9 and 10
8	Block 8	19	Block 10 and 11
9	Block 9	20	Block 11 and 12
10	Block 10	21	Block 12

**REPUBLIC GRAND RANCH
SECTION 7**

CONTAINING 7 BLOCKS AND ETC. 3 RESERVED
A SUBDIVISION CONTAINING 456.83 ACRES OF LAND
OUT OF THE RESIDE OF 456.83 ACRES REPUBLIC
GRAND RANCH, 111 TRACT, ALFARO'S FILE NO.
20191188-1, MONTGOMERY COUNTY,
TEXAS, PUBLIC RECORD BOOK
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

DECEMBER 2021

Topographic, D.T.
P.O. Box 100, New Albany, IN 47150
936-336-3636
936-336-3336



REPUBLIC GRAND RANCH
SECTION 7

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 13 OF 19

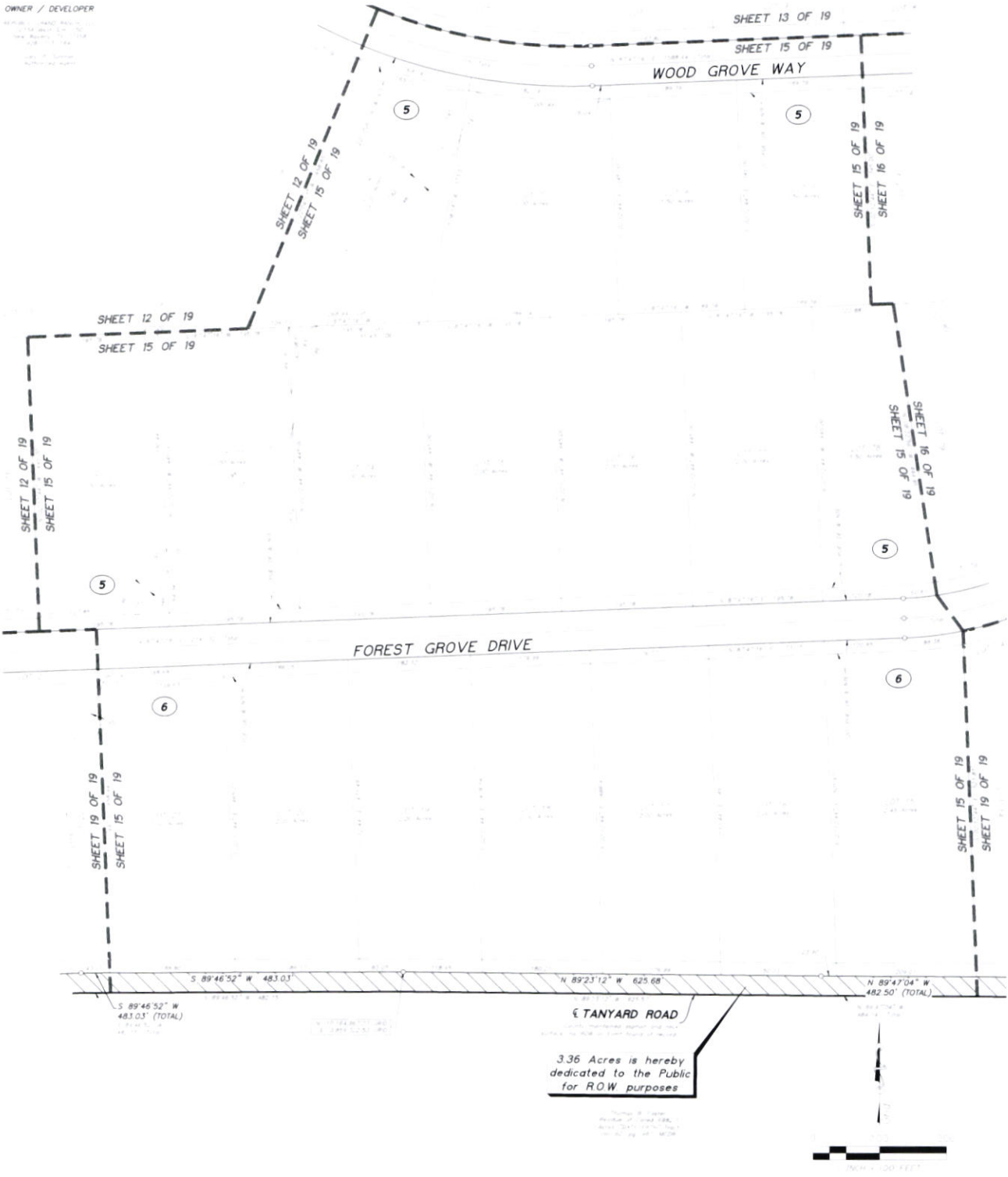
☒ 4
☐ 3
☐ 2
☐ 1
☐ 0

INDIVIDUAL SHEETS INDEX			
1	Upper Tenthredinids	1	Block 2 and 3
2	Lower Tenthredinids and C. M. M.	2	Block 4 and 5
3	Butterflies	3	Block 4
4	Beetles	4	Block 5 and 6
5	Beetles 4 and 5	5	Block 5 and 6
6	Beetles	6	Block 4, 5 and 6
7	Beetles	7	Block 5 and 6
8	Beetles 4 and 5	8	Block 5 and 6
9	Beetles 4 and 5	9	Block 5 and 6
10	Beetles 4 and 5	10	Block 5 and 6
11	Beetles 4 and 5	11	Block 5 and 6
12	Beetles 4 and 5	12	Block 5 and 6
13	Beetles 4 and 5	13	Block 5 and 6
14	Beetles 4 and 5	14	Block 5 and 6
15	Beetles 4 and 5	15	Block 5 and 6
16	Beetles 4 and 5	16	Block 5 and 6
17	Beetles 4 and 5	17	Block 5 and 6
18	Beetles 4 and 5	18	Block 5 and 6
19	Beetles 4 and 5	19	Block 5 and 6
20	Beetles 4 and 5	20	Block 5 and 6
21	Beetles 4 and 5	21	Block 5 and 6
22	Beetles 4 and 5	22	Block 5 and 6
23	Beetles 4 and 5	23	Block 5 and 6
24	Beetles 4 and 5	24	Block 5 and 6
25	Beetles 4 and 5	25	Block 5 and 6
26	Beetles 4 and 5	26	Block 5 and 6
27	Beetles 4 and 5	27	Block 5 and 6
28	Beetles 4 and 5	28	Block 5 and 6
29	Beetles 4 and 5	29	Block 5 and 6
30	Beetles 4 and 5	30	Block 5 and 6
31	Beetles 4 and 5	31	Block 5 and 6
32	Beetles 4 and 5	32	Block 5 and 6
33	Beetles 4 and 5	33	Block 5 and 6
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35	Beetles 4 and 5	35	Block 5 and 6
36	Beetles 4 and 5	36	Block 5 and 6
37	Beetles 4 and 5	37	Block 5 and 6
38	Beetles 4 and 5	38	Block 5 and 6
39	Beetles 4 and 5	39	Block 5 and 6
40	Beetles 4 and 5	40	Block 5 and 6
41	Beetles 4 and 5	41	Block 5 and 6
42	Beetles 4 and 5	42	Block 5 and 6
43	Beetles 4 and 5	43	Block 5 and 6
44	Beetles 4 and 5	44	Block 5 and 6
45	Beetles 4 and 5	45	Block 5 and 6
46	Beetles 4 and 5	46	Block 5 and 6
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51	Beetles 4 and 5	51	Block 5 and 6
52	Beetles 4 and 5	52	Block 5 and 6
53	Beetles 4 and 5	53	Block 5 and 6
54	Beetles 4 and 5	54	Block 5 and 6
55	Beetles 4 and 5	55	Block 5 and 6
56	Beetles 4 and 5	56	Block 5 and 6
57	Beetles 4 and 5	57	Block 5 and 6
58	Beetles 4 and 5	58	Block 5 and 6
59	Beetles 4 and 5	59	Block 5 and 6
60	Beetles 4 and 5	60	Block 5 and 6
61	Beetles 4 and 5	61	Block 5 and 6
62	Beetles 4 and 5	62	Block 5 and 6
63	Beetles 4 and 5	63	Block 5 and 6
64	Beetles 4 and 5	64	Block 5 and 6
65	Beetles 4 and 5	65	Block 5 and 6
66	Beetles 4 and 5	66	Block 5 and 6
67	Beetles 4 and 5	67	Block 5 and 6
68	Beetles 4 and 5	68	Block 5 and 6
69	Beetles 4 and 5	69	Block 5 and 6
70	Beetles 4 and 5	70	Block 5 and 6
71	Beetles 4 and 5	71	Block 5 and 6
72	Beetles 4 and 5	72	Block 5 and 6
73	Beetles 4 and 5	73	Block 5 and 6
74	Beetles 4 and 5	74	Block 5 and 6
75	Beetles 4 and 5	75	Block 5 and 6
76	Beetles 4 and 5	76	Block 5 and 6
77	Beetles 4 and 5	77	Block 5 and 6
78	Beetles 4 and 5	78	Block 5 and 6
79	Beetles 4 and 5	79	Block 5 and 6
80	Beetles 4 and 5	80	Block 5 and 6
81	Beetles 4 and 5	81	Block 5 and 6
82	Beetles 4 and 5	82	Block 5 and 6
83	Beetles 4 and 5	83	Block 5 and 6
84	Beetles 4 and 5	84	Block 5 and 6
85	Beetles 4 and 5	85	Block 5 and 6
86	Beetles 4 and 5	86	Block 5 and 6
87	Beetles 4 and 5	87	Block 5 and 6
88	Beetles 4 and 5	88	Block 5 and 6
89	Beetles 4 and 5	89	Block 5 and 6
90	Beetles 4 and 5	90	Block 5 and 6
91	Beetles 4 and 5	91	Block 5 and 6
92	Beetles 4 and 5	92	Block 5 and 6
93	Beetles 4 and 5	93	Block 5 and 6
94	Beetles 4 and 5	94	Block 5 and 6
95	Beetles 4 and 5	95	Block 5 and 6
96	Beetles 4 and 5	96	Block 5 and 6
97	Beetles 4 and 5	97	Block 5 and 6
98	Beetles 4 and 5	98	Block 5 and 6
99	Beetles 4 and 5	99	Block 5 and 6
100	Beetles 4 and 5	100	Block 5 and 6

OWNER / DEVELOPER

REPUBLIC GRAND RANCH
11140 WEST 10TH
FORT WORTH, TEXAS 76134
(817) 335-1114

BY: J. L. GARDNER
REGISTERED SURVEYOR



**PRELIMINARY
NOT FOR RECORD**

REPUBLIC GRAND RANCH
SECTION 7

CONTAINING BLOCKS 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 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1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 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INDIVIDUAL SHEETS INDEX

REPUBLIC GRAND RANCH
SECTION 7

CONTAINING 3 BLOCKS, 220 LOTS, 3 RESERVES

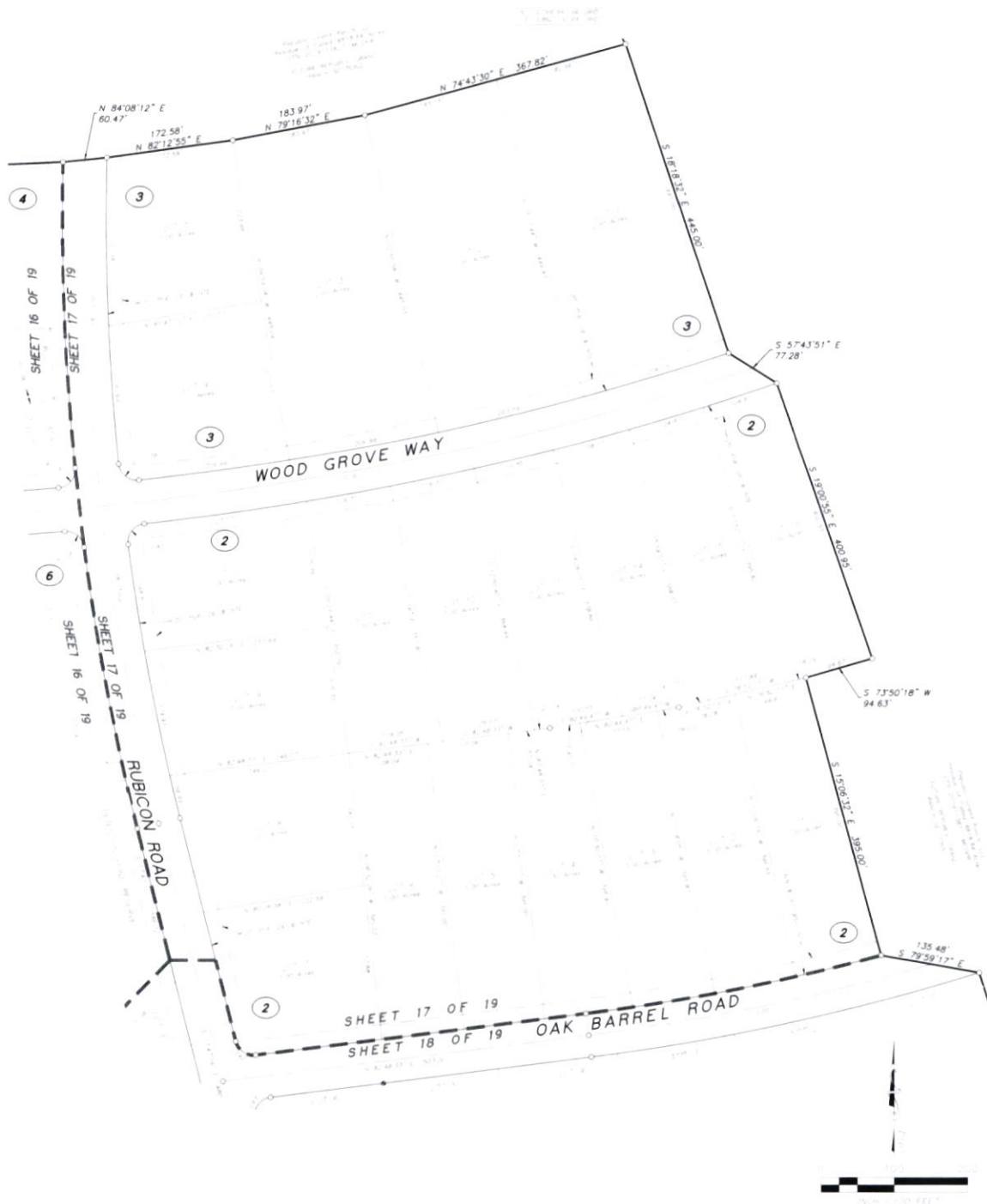
JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 16 OF 19

[illegible]

OWNER / DEVELOPER

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
1/10/2021



**PRELIMINARY
NOT FOR RECORD**

LEGEND

1. Block Number

2. Easement

3. Easement

4. Easement

5. Easement

6. Easement

7. Easement

8. Easement

9. Easement

10. Easement

11. Easement

12. Easement

13. Easement

14. Easement

15. Easement

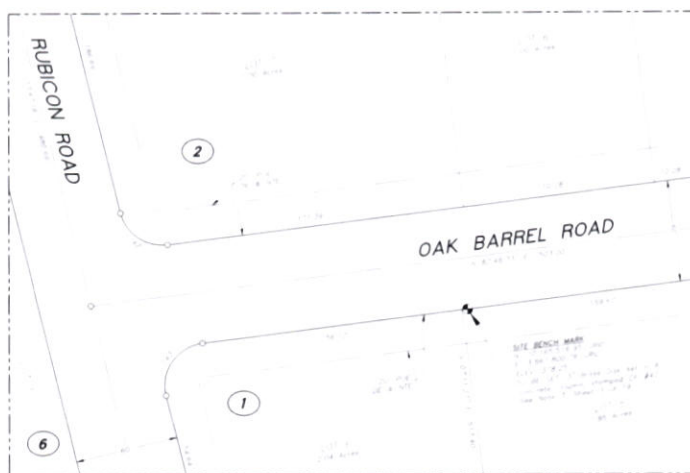
INDIVIDUAL SHEETS INDEX

1	Block 1	11	Block 11
2	Block 2	12	Block 12
3	Block 3	13	Block 13
4	Block 4	14	Block 14
5	Block 5	15	Block 15
6	Block 6	16	Block 16
7	Block 7	17	Block 17
8	Block 8	18	Block 18
9	Block 9	19	Block 19
10	Block 10	20	Block 20

**REPUBLIC GRAND RANCH
SECTION 7**

**JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS**

SHEET 17 OF 19



*PRELIMINARY
NOT FOR RECORD*

- [illegible]

1	Tree Number 1 and 2	11	Block 5 and 6
2	and Number 3 and 4 and 5 and 6 and 7 and 8 and 9 and 10 and 11 and 12 and 13 and 14 and 15 and 16 and 17 and 18 and 19 and 20 and 21 and 22 and 23 and 24 and 25 and 26 and 27 and 28 and 29 and 30 and 31 and 32 and 33 and 34 and 35 and 36 and 37 and 38 and 39 and 40 and 41 and 42 and 43 and 44 and 45 and 46 and 47 and 48 and 49 and 50 and 51 and 52 and 53 and 54 and 55 and 56 and 57 and 58 and 59 and 60 and 61 and 62 and 63 and 64 and 65 and 66 and 67 and 68 and 69 and 70 and 71 and 72 and 73 and 74 and 75 and 76 and 77 and 78 and 79 and 80 and 81 and 82 and 83 and 84 and 85 and 86 and 87 and 88 and 89 and 90 and 91 and 92 and 93 and 94 and 95 and 96 and 97 and 98 and 99 and 100	12	Block 6 and 7
3	Number 1 and 2 and 3 and 4 and 5 and 6 and 7 and 8 and 9 and 10 and 11 and 12 and 13 and 14 and 15 and 16 and 17 and 18 and 19 and 20 and 21 and 22 and 23 and 24 and 25 and 26 and 27 and 28 and 29 and 30 and 31 and 32 and 33 and 34 and 35 and 36 and 37 and 38 and 39 and 40 and 41 and 42 and 43 and 44 and 45 and 46 and 47 and 48 and 49 and 50 and 51 and 52 and 53 and 54 and 55 and 56 and 57 and 58 and 59 and 60 and 61 and 62 and 63 and 64 and 65 and 66 and 67 and 68 and 69 and 70 and 71 and 72 and 73 and 74 and 75 and 76 and 77 and 78 and 79 and 80 and 81 and 82 and 83 and 84 and 85 and 86 and 87 and 88 and 89 and 90 and 91 and 92 and 93 and 94 and 95 and 96 and 97 and 98 and 99 and 100	13	Block 7 and 8
4	Block 1 and 2	14	Block 8 and 9
5	Block 3 and 4	15	Block 9 and 10
6	Block 5 and 6	16	Block 10 and 11
7	Block 7 and 8	17	Block 11 and 12
8	Block 9 and 10	18	Block 12 and 13
9	Block 11 and 12	19	Block 13 and 14
10	Block 13 and 14	20	Block 14 and 15
11	Block 15 and 16	21	Block 15 and 16
12	Block 17 and 18	22	Block 16 and 17
13	Block 19 and 20	23	Block 17 and 18
14	Block 21 and 22	24	Block 18 and 19
15	Block 23 and 24	25	Block 19 and 20
16	Block 25 and 26	26	Block 20 and 21
17	Block 27 and 28	27	Block 21 and 22
18	Block 29 and 30	28	Block 22 and 23
19	Block 31 and 32	29	Block 23 and 24
20	Block 33 and 34	30	Block 24 and 25
21	Block 35 and 36	31	Block 25 and 26
22	Block 37 and 38	32	Block 26 and 27
23	Block 39 and 40	33	Block 27 and 28
24	Block 41 and 42	34	Block 28 and 29
25	Block 43 and 44	35	Block 29 and 30
26	Block 45 and 46	36	Block 30 and 31
27	Block 47 and 48	37	Block 31 and 32
28	Block 49 and 50	38	Block 32 and 33
29	Block 51 and 52	39	Block 33 and 34
30	Block 53 and 54	40	Block 34 and 35
31	Block 55 and 56	41	Block 35 and 36
32	Block 57 and 58	42	Block 36 and 37
33	Block 59 and 60	43	Block 37 and 38
34	Block 61 and 62	44	Block 38 and 39
35	Block 63 and 64	45	Block 39 and 40
36	Block 65 and 66	46	Block 40 and 41
37	Block 67 and 68	47	Block 41 and 42
38	Block 69 and 70	48	Block 42 and 43
39	Block 71 and 72	49	Block 43 and 44
40	Block 73 and 74	50	Block 44 and 45
41	Block 75 and 76	51	Block 45 and 46
42	Block 77 and 78	52	Block 46 and 47
43	Block 79 and 80	53	Block 47 and 48
44	Block 81 and 82	54	Block 48 and 49
45	Block 83 and 84	55	Block 49 and 50
46	Block 85 and 86	56	Block 50 and 51
47	Block 87 and 88	57	Block 51 and 52
48	Block 89 and 90	58	Block 52 and 53
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50	Block 93 and 94	60	Block 54 and 55
51	Block 95 and 96	61	Block 55 and 56
52	Block 97 and 98	62	Block 56 and 57
53	Block 99 and 100	63	Block 57 and 58
54	Block 101 and 102	64	Block 58 and 59
55	Block 103 and 104	65	Block 59 and 60
56	Block 105 and 106	66	Block 60 and 61
57	Block 107 and 108	67	Block 61 and 62
58	Block 109 and 110	68	Block 62 and 63
59	Block 111 and 112	69	Block 63 and 64
60	Block 113 and 114	70	Block 64 and 65
61	Block 115 and 116	71	Block 65 and 66
62	Block 117 and 118	72	Block 66 and 67
63	Block 119 and 120	73	Block 67 and 68
64	Block 121 and 122	74	Block 68 and 69
65	Block 123 and 124	75	Block 69 and 70
66	Block 125 and 126	76	Block 70 and 71
67	Block 127 and 128	77	Block 71 and 72
68	Block 129 and 130	78	Block 72 and 73
69	Block 131 and 132	79	Block 73 and 74
70	Block 133 and 134	80	Block 74 and 75
71	Block 135 and 136	81	Block 75 and 76
72	Block 137 and 138	82	Block 76 and 77
73	Block 139 and 140	83	Block 77 and 78
74	Block 141 and 142	84	Block 78 and 79
75	Block 143 and 144	85	Block 79 and 80
76	Block 145 and 146	86	Block 80 and 81
77	Block 147 and 148	87	Block 81 and 82
78	Block 149 and 150	88	Block 82 and 83
79	Block 151 and 152	89	Block 83 and 84
80	Block 153 and 154	90	Block 84 and 85
81	Block 155 and 156	91	Block 85 and 86
82	Block 157 and 158	92	Block 86 and 87
83	Block 159 and 160	93	Block 87 and 88
84	Block 161 and 162	94	Block 88 and 89
85	Block 163 and 164	95	Block 89 and 90
86	Block 165 and 166	96	Block 90 and 91
87	Block 167 and 168	97	Block 91 and 92
88	Block 169 and 170	98	Block 92 and 93
89	Block 171 and 172	99	Block 93 and 94
90	Block 173 and 174	100	Block 94 and 95
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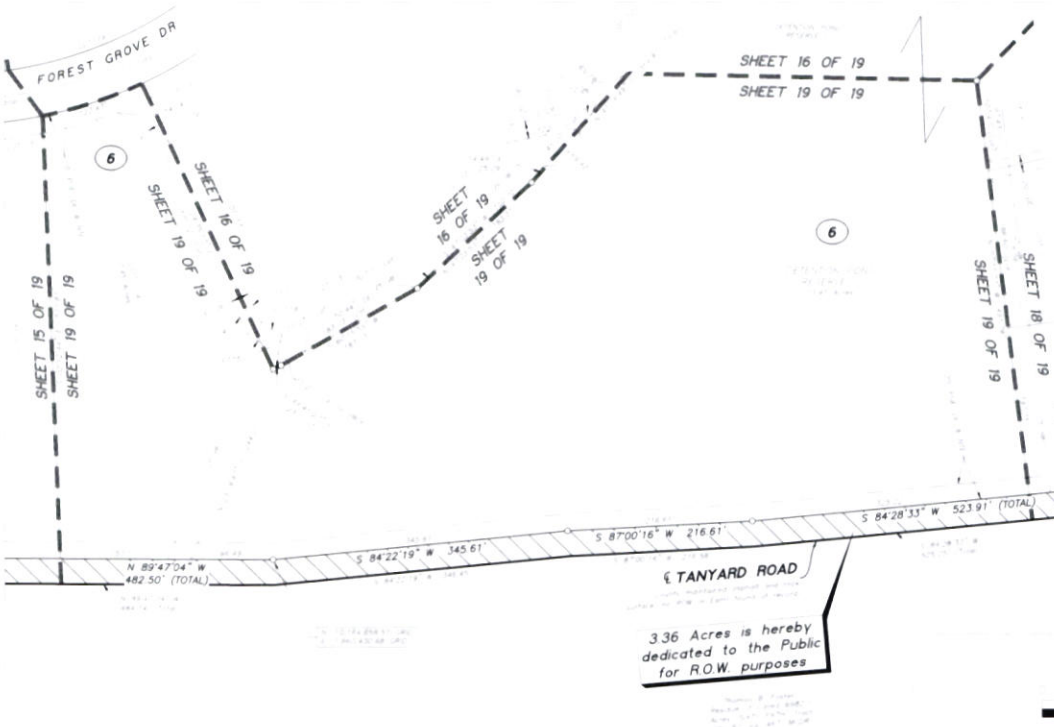
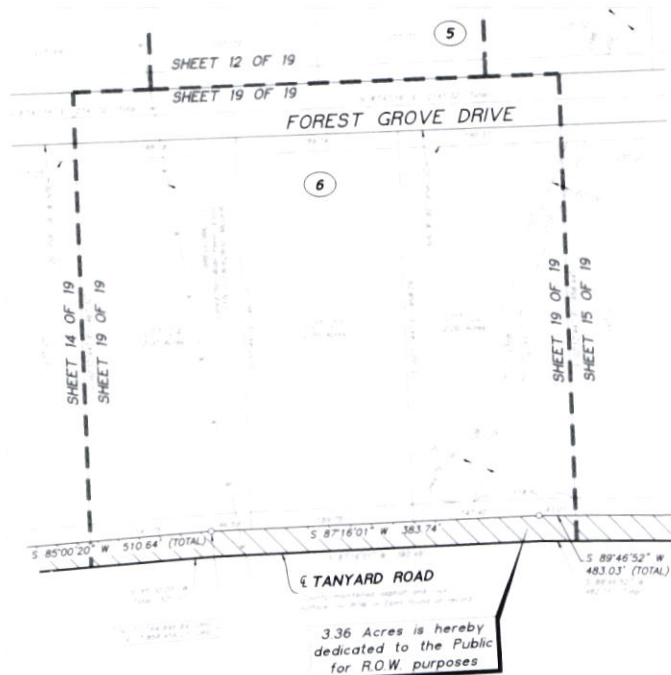
CONTAINING 7 BLOCKS, 220 LOTS, 3 RESERVE.

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS

SHEET 18 OF 19

OWNER / DEVELOPER

JOSE MARIA DE LA GARZA SURVEY, A-15
MONTGOMERY COUNTY, TEXAS
12/20/2021 9:54:37 AM AMH



**PRELIMINARY
NOT FOR RECORD**

LEGEND

- 1. Survey Boundary
- 2. Easement Boundary
- 3. Right-of-Way Boundary
- 4. Survey Boundary
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- 6. Right-of-Way Boundary
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- 222. Right-of-Way Boundary
- 223. Survey Boundary
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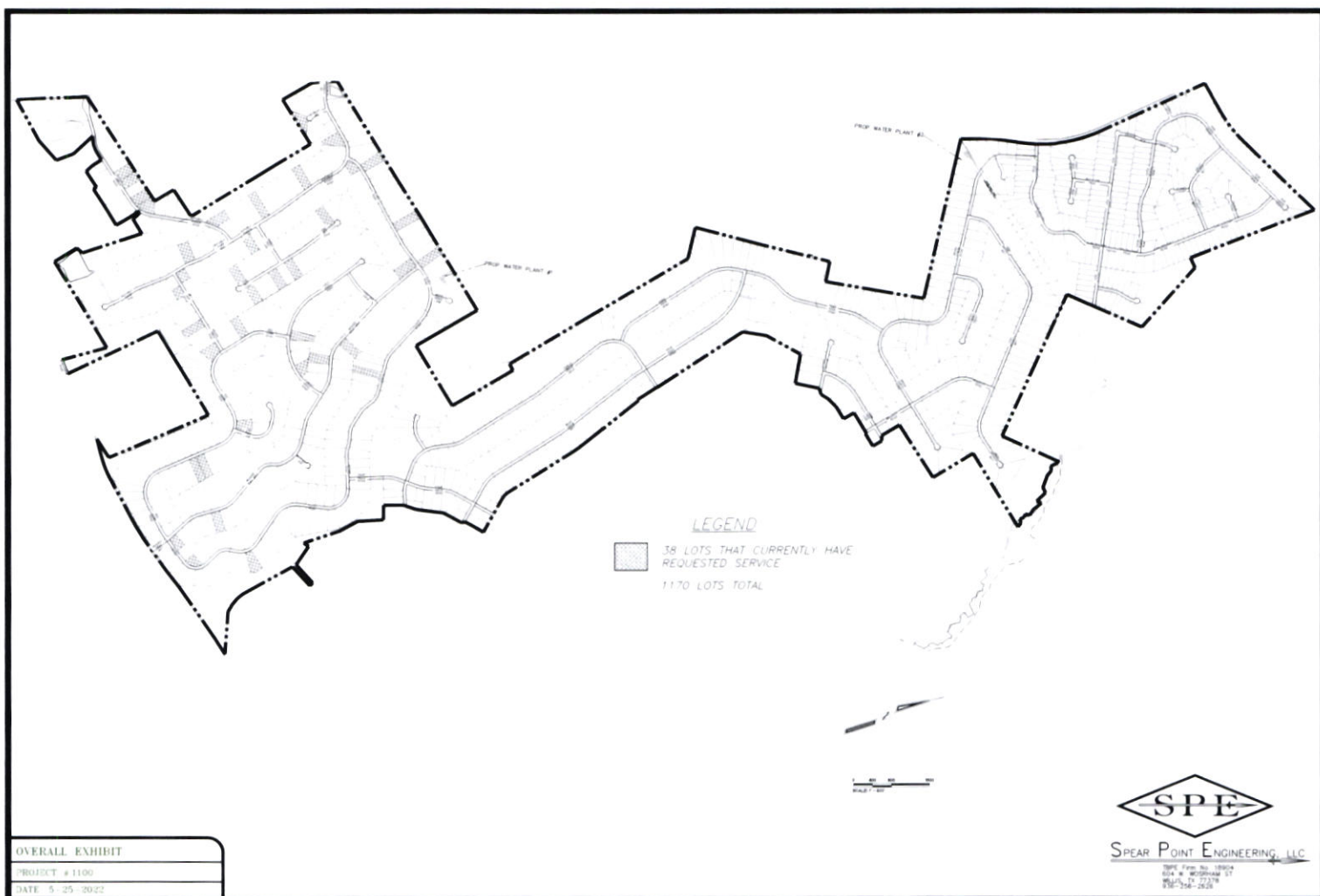
INDIVIDUAL SHEETS INDEX

INDIVIDUAL SHEETS INDEX									
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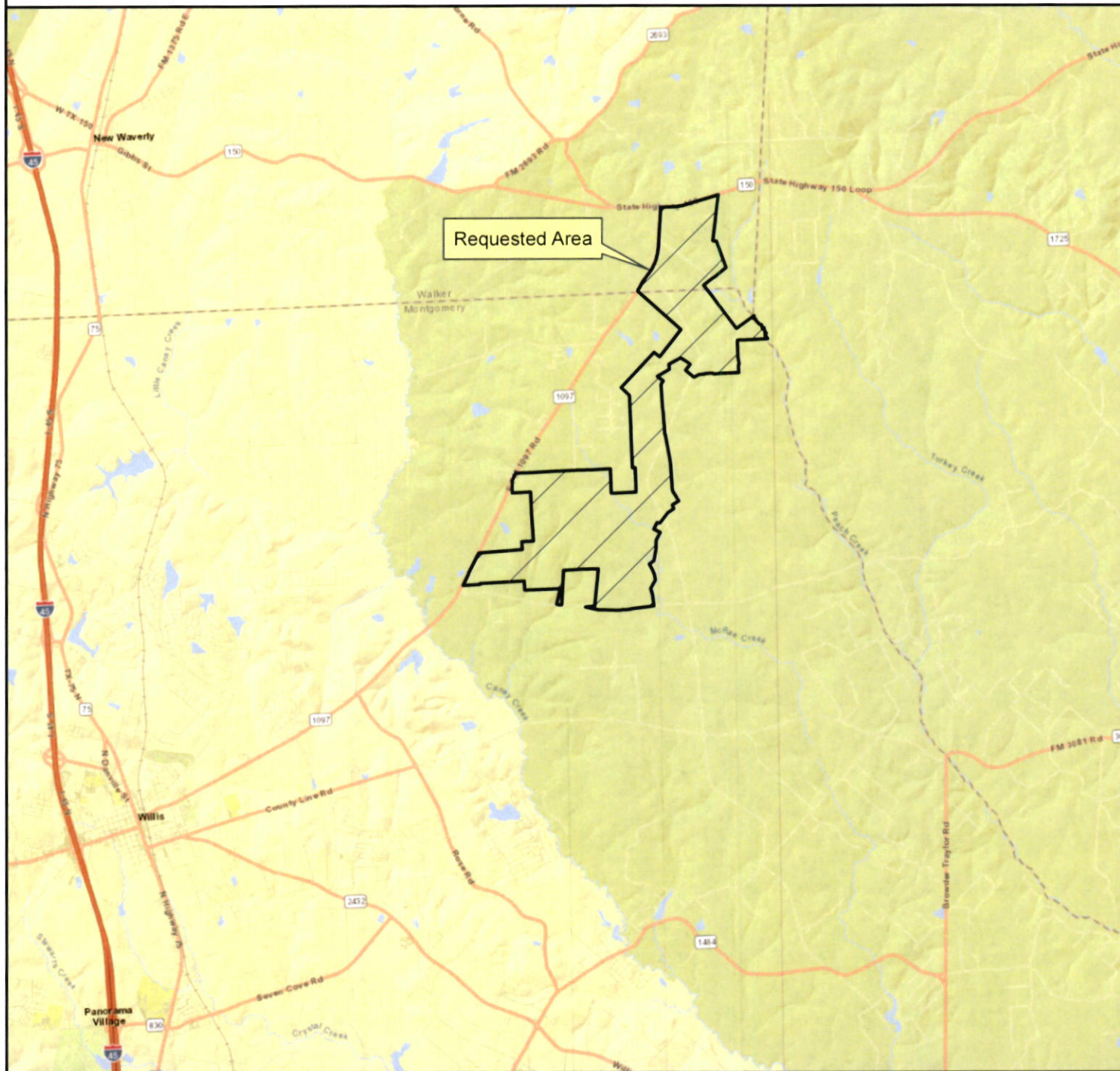
Attachment 11
Confidential

Attachment 1J
Confidential

Attachment 1K
*Native file to be filed
separately*



Dos Aguas, LLC to Obtain Water CCN in Montgomery, San Jacinto and Walker Counties



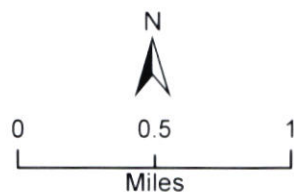
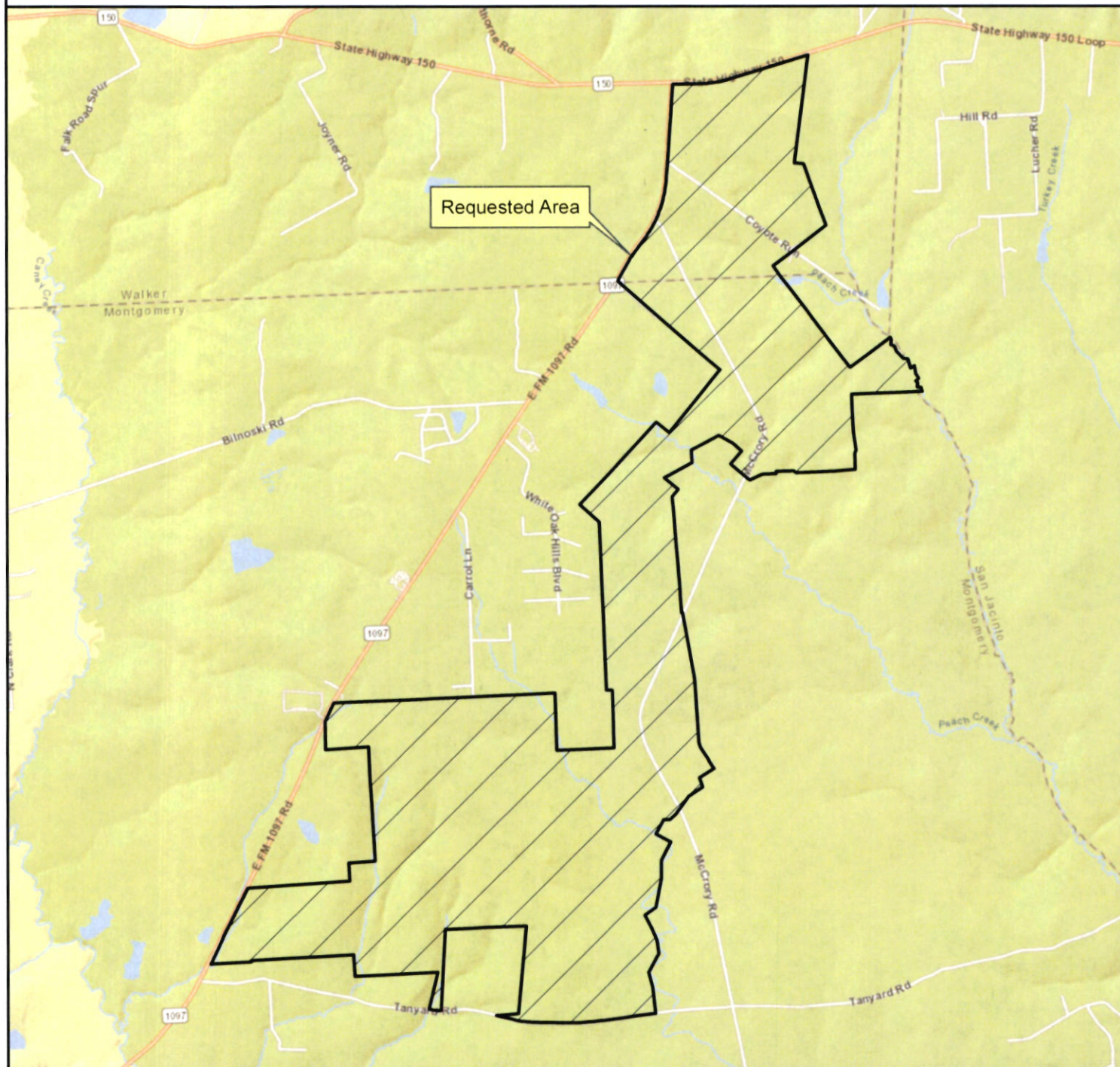
Requested Area

 Dos Aguas, LLC Requested Water CCN Area

Approx. 2,710 acres

Date created: May 13, 2022

Dos Aguas, LLC to Obtain Water CCN in Montgomery, San Jacinto and Walker Counties



Requested Area

 Dos Aguas, LLC Requested Water CCN Area
Approx. 2,710 acres

Date created: May 13, 2022

Attachment 1L

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



PWS_1700917_CO_20220412_Plan Ltr

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

April 12, 2022

Mr. Michael W. Mathena, P.E.
Light Point Engineering, LLC
604 West Worsham Street, Suite 100
Willis, TX 77378

Re: Dos Aguas - Public Water System ID No. 1700917
Completion Data for Well (South Water Plant Well)
Engineer Contact Telephone: (936) 207-9984
Plan Review Log No. P-02092022-063
Montgomery County, Texas

CN605857093; RN111188272

Dear Mr. Mathena:

On February 9, 2022, the Texas Commission on Environmental Quality (TCEQ) received well completion material with your letter dated February 9, 2022. Based on our review of the information submitted, the project generally meets the minimum requirements of Title 30 Texas Administrative Code (TAC) Chapter 290 - Rules and Regulations for Public Water Systems and the constructed well is **approved for use** based on the conditions noted below and may now be **temporarily** placed into service. The well's continued use is contingent upon the following conditions:

1. A representative of TCEQ's Drinking Water Quality Team will contact the public water system to arrange for the collection of the official chemical samples. It is the water systems responsibility to contact the **Drinking Water Quality Team at (512) 239-4691** if they have not had the official sample collection within **180 days** of the date of this letter.
2. If official chemical analysis testing confirms that a regulated constituent does not meet primary or secondary standards, additional treatment, blending, or public notice may be required. The Drinking Water Quality Team will notify the water system of any additional special requirements for this public water supply source. Plans for any proposed water treatment and blending must be reviewed and approved by the Plan Review Team.
3. According to our calculations using corrosive indices, this water appears to be slightly corrosive. Corrosive or aggressive water could result in aesthetic problems, increased levels of toxic metals, and deterioration of household plumbing and fixtures. The system is required to conduct a study and submit an engineering report that addresses corrosivity issues particular to this water system. The report must address recommendations for treatment if necessary.

The engineering report (see attached Corrosivity Engineering Report Checklist) shall be submitted by a Professional Engineer, licensed in the State of Texas, within six months from the date of this letter to:

P.O. Box 13087 • Austin, Texas 78711-3087 • 512-239-1000 • tceq.texas.gov

How is our customer service? tceq.texas.gov/customersurvey

printed on recycled paper

Vera Poe, P.E.
Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

The system may choose to install corrosion control treatment in lieu of the study. If this is the case, plans and specifications must be submitted within six months from the date of this letter to the address above.

The well completion data consisted of the following:

- State of Texas Well Report (Tracking No. 585438);
- Well Latitude and Longitude: Lat. 30° 28' 43.06" N; Long. 95° 23' 24.43" W;
- Driller's log (geologic log and material setting report);
- Cementing certificate;
- 36-hour pumping test results;
- Executed and recorded sanitary control easement;
- U. S. Geological Survey 7.5-minute map showing the well location;
- Three bacteriological sampling results showing no coliform contamination from Chaparral Laboratories on April 4, 5, and 6; and,
- Chemical analysis results from Ana-Lab dated September 30, 2021;

Primary Contaminants		
Contaminant	MCL (mg/L)	Results
Arsenic	0.01	0.0027
Fluoride	4.0	0.082
Nitrate	10 (as N)	0.788
Nitrite	1 (as N)	<0.02

Secondary Contaminants		
Contaminant	SCL (mg/L)	Results
Aluminum	0.2	0.0195
Chloride	300	31.4
Copper	1.0	<0.0005
Fluoride	2.0	0.082
Iron	0.3	0.134
Manganese	0.05	0.0396
pH	≥7 (Standard Unit)	7.3
Sulfate	300	12.9
Total Dissolved Solids	1,000	276
Zinc	5.0	0.05

Radionuclide Contaminants		
Contaminant	MCL	Results
Gross alpha	15 pCi/L	1.4
Beta Particle	50 pCi/L	3.1
Radium-226/228	5 pCi/L	0.67/0.14
Uranium	30 µg/L	<1.0

Corrosive Water Parameters	
Parameter	Result (mg/L)
Alkalinity as CaCO ₃	195
Calcium as CaCO ₃	174
Sodium	39.6
Lead	<0.00025

The well completion data describes construction of the following:

- One (1) public water supply well drilled to 870 feet with 700 linear feet (lf) of 12.75-inch outside diameter (od) steel casing and pressure-cemented 700 lf;
- 160 lf of 8-inch od Stainless steel slot screen, 130 lf of 8 od blank steel liner, with 16-inch underream and 230 lf of gravel pack;
- The well is rated for 200 gallons per minute (gpm) yield with a 40 horsepower, 5-inch, submersible pump set at 593 feet deep. The design capacity of the pump is 200 gpm at 498 feet total dynamic head;

This approval is for the construction of the above listed items only. Any wastewater components contained in this design were not considered. The authorization provided in this letter does not relieve a Public Water System from the need to comply with other applicable state and federal regulations.

The Dos Aguas public water system provides water treatment.

The project is located 1,500 feet southeast of the intersection of Carrol Lane and Carrol Court in Montgomery County, Texas.

Texas Water Code Section 36.0015 allows for the creation of groundwater conservation districts (GCDs) as the preferred method of groundwater management. GCDs manage groundwater in many counties and are authorized to regulate production and spacing of water wells. **Public water systems drilling wells within an existing GCD are responsible for meeting the GCD's requirements.** The authorization provided in this letter does not affect GCD authority to manage groundwater or issue permits.

The well was approved for construction in our February 25, 2021 letter (Plan Review Log No. P-01292021-184).

Please refer to the Plan Review Team's Log No. **P-02092022-063** in all correspondence for this project.

Mr. Michael W. Mathena, P.E.
Page 4
April 12, 2022

Please complete a copy of the most current Public Water System Plan Review Submittal form for any future submittals to TCEQ. Every blank on the form must be completed to minimize any delays in the review of your project. The document is available on TCEQ's website at the address shown below. You can also download the most current plan submittal checklists and forms from the same address.

<https://www.tceq.texas.gov/drinkingwater/udpubs.html>

For future reference, you can review part of the Plan Review Team's database to see if we have received your project. This is available on TCEQ's website at the following address:

<https://www.tceq.texas.gov/drinkingwater/planrev.html/#status>

You can download the latest revision of 30 TAC Chapter 290 - Rules and Regulations for Public Water Systems from this site.

If you have any questions concerning this letter or need further assistance, please contact Mr. Craig Stowell at (512)239-4633 or by email at Craig.Stowell@Tceq.Texas.Gov or by correspondence at the following address:

Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

Sincerely,



Craig A. Stowell, P.E.
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality



Vera Poe, P.E., Team Leader
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality

VP/CAS/es/av

Enclosure: Sample Results
Corrosivity Engineering Report Checklist

cc: Dos Aguas, Attn: Scott Rohe, 455 Farm-to-Market Road 2296, Huntsville, TX 77340-2424

Mr. Michael W. Mathena, P.E.

Page 5

April 12, 2022

bcc: TCEQ Central Records PWS File 1700917 (P-02092022-063/Dos Aguas)
TCEQ Region No. 12 Office - Houston
TCEQ PWSINVEN, MC-155

TCEQ Microbial Reporting Form

TCEQ Form 18525
08/2017

Water System Identification & Sample Collection Information (Please type or use block print)

Public Water System ID: TX

(Must be 7 digits, include all zeros)

Public Water System Name: Dos Aguas

County: Montgomery

Name: Scott Rohre

Address: 455 FM 2296

City: Huntsville

State: Texas

Zip Code: 77340

Phone #: 936-295-4809

Other Contact:

Signature

Scott Rohre

Operator License #: WG0018579

☐ Owner ☒ Operator ☐ Other

Validation of this form or sampling with water samples is a crime punishable under state and/or federal law. (Texas Penal Code, Title 8, Chapter 37, 109) By signing this form, the sampler acknowledges that samples were collected according to the systems established sample collection procedures, and that all information is accurate.

Chaparral Laboratories, Inc.

P.O. Box 1622

861 State Hwy 19

Huntsville, TX 77342

Huntsville, TX 77320

www.chaparrallabs.com Phone: 936-291-1881 Fax: 936-295-1731

Test Results must meet all accreditation / certification requirements unless stated otherwise.

TCEQ Laboratory ID: T104704204



SHADES FOR LABORATORY USE ONLY

Sample Used? ☐ Yes ☒ No

Relinquished By: Scott Rohre

Date / Time: 4-5-22 11:50

Temperature: 24.5 °C

Relinquished By: (Downy)

Date / Time: 4/5/22 11:50

Corrected Temp: 24.5 °C

Received By: (Lab)

Date / Time: 4/5/22 11:50

Lab Comments:

24.5 °C

Date / Time: 4/5/22 11:50

Tested By: Lyle Ellis

Signature: Lyle Ellis

Date / Time: 4/5/22 11:50

Laboratory Approval: [Signature]

Date: 4/11/22

Time: 1430

Report to Client By: Anthony Down

Signature: Anthony Down

Date: 4/17/22

Time: 1500

Validation of this form or sampling with water samples is a crime punishable under state and/or federal law. (Texas Penal Code, Title 8, Chapter 37, 109) By signing this form, the sampler acknowledges that samples were collected according to the systems established sample collection procedures, and that all information is accurate.

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Sample Identification/Location

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Use Specific Address / Location identified in Sample Siting Plan

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Raw Wells Use Source ID for Well Sampled (Example: G1234567A)

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Well #1

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Well #1

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Well #1

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Well #1

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Well #1

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Well #1

Sample Type: (\ one)

Collected

Sample ID & Date of Originating Sample (All Repeat, Replacement, & Tripover Raw Samples)

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Lab Results

Method: SM 9223

Form Instructions: www.tceq.texas.gov/drinkingwater/microbial/revised-total-coliform-rule

* Special and Confirmation samples are NOT FOR COMPLIANCE

Lab Rejected Code (LR) - Document Reason:

Laboratory Sample ID Number

22040076-01

TCEQ Microbial Reporting Form

TCEQ Form 18525
08/2017

Water System Identification & Sample Collection Information (Please type or use block print)

Public Water System ID: TX

Public Water System Name: Dos Aguas

County: Montgomery

Name: Scott Rohe

Address: 455 FM 2296

City: Huntsville

State: Texas

Zip Code: 77340

Phone #: 936-295-4809

Other Contact:

Signature:

Scott Rohe

Operator License #: WG0018579

☐ Owner ☒ Operator ☐ Other:

Chaparral Laboratories, Inc.

P.O. Box 1622

861 State Hwy 19

Huntsville, TX 77342

Huntsville, TX 77320

www.chaparrallabs.com Phone: 936-291-1881 Fax: 936-295-1731

Test Results must meet all accreditation/certification requirements unless stated otherwise.



TCEQ Laboratory ID: T104704204

SHOWN FOR LABORATORY USE ONLY

Sample Incubated? ☐ Yes ☒ No

Temperature

31.2 °C

Corrected Temp °C

30.9 °C

Lab Comments:

Tested By: [Signature]

Laboratory Approval: [Signature]

Report to Client By: [Signature]

Date: 4/8/22 Time: 0930

Instructions: This form or sampling with water samples is a crime punishable under state and/or federal law. (Texas Penal Code, Title 8, Chapter 37, 11) By signing this form, the sampler acknowledges that samples were collected according to the systems established sample collection procedures, and that all information is accurate.

Chlorine Residual

Circle "F" for Free, "T" for Total (mg/L)

3.28 T

Rejection Code (if applicable) - Please Resubmit

Test Method: Chlorine ✓

Lab Results: SM 9223

E. Coli

Laboratory Sample ID Number

22040141-01

Sample Identification/Location

Sample Type: () one

Collected: Date Time

Replacement

Sample ID & Date of Original Sample (All Repeat, Replacement, & Triggered Raw Samples)

Circle "F" for Free, "T" for Total (mg/L)

Rejection Code (if applicable) - Please Resubmit

Test Method: Chlorine ✓

Lab Results: SM 9223

E. Coli

Laboratory Sample ID Number

22040141-01

22040141-01

Use Specific Address / Location identified in Sample String Plan

Raw Wells: (Use Source ID for Well Sampled (Example: G1234567A))

Well #1

Form instructions: www.tceq.texas.gov/drinkingwater/microbiological/assess-total-coliform-rule

* Special and Construction samples are NOT FOR COMPLIANCE

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Lab Rejected Code (LR) - Document Reason:

Corrosivity Engineering Report Checklist

Texas Commission on Environmental Quality
Water Supply Division
Plan Review Team MC-159
P.O. Box 13087 Austin, Texas 78711-3087

Public Water System I.D. No. _____
TCEQ Log No. P- _____

Approval of new sources or treatments that affect water quality may require public water systems (PWS) to submit a follow-up engineering corrosivity report as a condition of approval. This checklist is to be used as a guide for the contents of such engineering reports submitted by a Texas Professional Engineer (P.E.) on behalf of a PWS.

This checklist is not intended for lead or copper action level exceeders (ALE). A PWS that has had a lead and Copper ALE is required to submit a Source Water Treatment Recommendation, Optimal Corrosion Control Treatment Recommendation and Corrosion Control Study (CCST), please contact a member of the Drinking Water Quality Team for additional guidance at (512) 239-4691.

Please address the following in your corrosivity engineering report submittal:

Historic and Current System Information:

When reviewing the corrosive nature of water at a particular water system, it is necessary to have historical data for review. The following is a general guideline for gathering and presenting the necessary historical baseline data to include within the required engineering report.

1. ☐ Provide known information on the current distribution and service lines, including pipe material, pipe sizes, and age of piping. Include how this information has been obtained such as record drawings, waterline replacement projects from the past, and purchase orders.
2. ☐ Provide a write-up and schematic on the current water treatment process; provide a historical perspective of the major changes to the treatment process with dates and reasons for the process changes.
3. ☐ Include a summary of all historical information and Water Quality Parameter (WQP) data such as lead, copper, conductivity, total dissolved solids, pH, temperature, alkalinity, chloride, sulfate, calcium and sodium. Provide a complete description of when and why the data was collected and provide any context as it relates to system changes such as changes in treatment systems.
4. ☐ Provide information on whether the PWS has a history of lead and/or copper sampling issues and exceedances.
5. ☐ Research analogous system data that use the same sources and use similar treatment process.
6. ☐ Provide any information on the number of known lead service lines.

Corrosivity Engineering Report Checklist

WQP Sampling and Results:

The corrosivity engineering report was triggered because the PWS is in the process of making changes such as adding a new source or process treatment changes that can have an effect on the corrosivity of the finished water. The goal of the report is to study the changes in WQP data to see the effect of the change on the system as a whole.

7. ☐ Provide WQP sample data from all entry points and distribution sites as a whole that reflects the change in treatment or source. Provide complete WQPs after the treatment modifications including the date of the process modification.
8. ☐ Provide the analytical lab results for the reported WQP data, including appropriate chain of custody with Quality Assurance/Quality Control data. Please note that pH and temperature should be taken in the field at the time of sampling. Provide the 'field pH and temperature' associated with the WQP sampling.
9. ☐ Provide information on whether the PWS has elevated lead, copper, aluminum, iron or manganese levels at the Entry Point (EP). This data may affect any corrosion control treatment if required.
10. ☐ Perform corrosion indices calculations using the current WQP data after the change was initiated.
11. ☐ If the water is corrosive, provide the type of treatment recommended including type of chemical, dosage, residual and reason for the recommended treatment.

Lead and Copper Sampling:

12. ☐ The system may be required to conduct lead and copper tap sampling as part of the plan submittal. This sampling is part of the LCR program and scheduled by LCR staff. If the system was required to do lead and copper tap sampling, please include the results as part of the corrosivity engineering report with a discussion of the results.
13. ☐ Please note that if a PWS becomes an ALE during this required sampling, they should contact the Plan Review Team at (512) 239- 4691.
14. ☐ For PWSs required to perform LCR tap sampling, the corrosivity engineering report is due after the first six-month LCR tap sampling is required. If the system is not required to do LCR tap sampling (such as a wholesaler or Noncommunity - Transient System), the report is normally due six months from the date of the plan approval letter.
15. ☐ Under the LCR rule, PWSs are not considered an ALE unless more than 10% of the samples exceed the threshold set by EPA. (The lead action level is 0.015 milligrams per liter (mg/L) and the copper action level is 1.3 mg/L). However, the corrosivity engineering report should include a discussion of each sample that exceeds the threshold. The discussion should address:
 - a. ☐ Whether a retest was done and what the results were;
 - b. ☐ History of sampling for the particular site;
 - c. ☐ Any special circumstances for the site (e.g. lead service line, copper plumbing with high lead solder); and
 - d. ☐ Whether a Point of Use device (such as a lead removal filter) was offered and being used at the site.

Corrosivity Engineering Report Checklist

Future Planning:

If the PWS is planning near future projects, those projects may affect water corrosivity and may change the recommendations and conclusions of the current data.

16. ☐ Include a section that discusses future capital improvement planning that the system is considering such as new wells or treatment changes. Discuss how these future changes may affect the corrosivity of the finished water and whether the recommendations and conclusions include consideration of such future projects.

Analysis and Technical Tools:

17. ☐ The corrosivity engineering report must include an analysis of the WQP data. The engineer should calculate the following indices for the WQP data. Formulas for the indices can be found in reference manuals or online. TCEQ uses the Tetra Tech (RTW) Model for Water Chemistry, Process, and Corrosion Control to look at water quality parameters and evaluate treatment processes. The engineer is not required to use the RTW model.

CRITERIA TABLE

CRITERIA TABLE	NC	SC	C	TALK= (total Alkalinity) If CSMR greater than 0.5 but TALK is >50 than SC
Langelier Index	NC > -0.25	-1<SC<-0.25	C<-1.0	
Ryznar Index	<7.0	7<SC<8.5	C>8.5	
Aggressiveness Index	>12.0	10>SC<12	C<10.0	
CCPP	>0.0	-3>SC<0	C<-3.0	
CSMR	<0.2	>0.2SC<0.5	C>.5 (TALK <50)	

The corrosivity of the original water parameters is calculated with assumed temperatures of 10 °C and 25 °C, giving six grades.

- 3 C's or more= Corrosive;
- 3 SCs under 25 °C=Slightly Corrosive
- 4 - C's and SC's Total =Slightly Corrosive;
- Otherwise, the water is considered noncorrosive.

Conclusions and Recommendations:

18. ☐ The corrosivity engineering report must determine if the corrosiveness of the water may or may not be a problem to the particular system. The engineer needs to review all the data and either recommend new corrosion control treatment, adjust existing corrosion control or provide a detailed explanation why no new or changes to existing treatment is required.
19. ☐ For new and existing corrosion control treatment changes, the engineer needs to evaluate the treatment change to ensure that it is in accordance with the EPA OCCT. EPA's current OCCT recommendation document can be accessed from the following EPA web link: <https://www.epa.gov/sites/production/files/2016-03/documents/occtmarch2016.pdf>.

Corrosivity Engineering Report Checklist

- 20. ☐ EPA OCCT Appendix B and Chapter3 flowcharts can be used to determine the likely corrosion control treatment to work.
- 21. ☐ For new and existing corrosion control treatment changes, the engineer needs to submit plans and specifications to the Plan Review Team for review and approval.
- 22. ☐ New and existing corrosion control treatment change approvals may result in the PWS being required to conduct more monitoring and to make updates to the follow-up engineering corrosivity report.

HWW1-G

Page 1 of 4

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed: 09/30/2021

RESULTS

Sample Results

2024049		DOS AGUAS Well Short List				Received:		09/17/2021	
Drinking Water		Collected by: MRB		Ana-Lab		PO:			
		Taken: 09/16/2021		11:50:00					
		Prepared:		09/30/2021		07:50:59		Calculated	
				09/30/2021		07:50:59		CA	
Parameter		Results		Units		RL		Flags	
CAS								Bottle	
z Calcium as CaCO3		174		mg/L		0.249			
EPA 200.7 4.4		Prepared: 973106		09/23/2021		13:45:00		Analyzed 973863	
								09/28/2021	
								17:23:00	
								JAB	
Parameter		Results		Units		RL		Flags	
CAS								Bottle	
NELAC Iron, Total		0.134		mg/L		0.025		7439-89-6	
								03	
EPA 200.7 4.4		Prepared: 973106		09/23/2021		13:45:00		Analyzed 973984	
								09/29/2021	
								09:02:00	
								ESG	
Parameter		Results		Units		RL		Flags	
CAS								Bottle	
z Calcium		69.9		mg/L		0.100		7440-70-2	
								03	
NELAC Magnesium, Total		6.58		mg/L		0.025		7439-95-4	
								03	
NELAC Sodium		39.6		mg/L		0.500		7440-23-5	
								03	
EPA 200.8 5.4		Prepared: 973106		09/23/2021		13:45:00		Analyzed 973697	
								09/27/2021	
								15:52:00	
								JAB	
Parameter		Results		Units		RL		Flags	
CAS								Bottle	
NELAC Arsenic, Total		0.0027		mg/L		0.0005		B	
								7440-38-2	
								03	
NELAC Copper, Total		<0.0005		mg/L		0.0005		7440-50-8	
								03	
NELAC Lead, Total		<0.00025		mg/L		0.00025		7439-92-1	
								03	
NELAC Manganese, Total		0.0396		mg/L		0.001		7439-96-5	
								03	
NELAC Zinc, Total		0.050		mg/L		0.003		7440-66-6	
								03	
EPA 200.8 5.4		Prepared: 973106		09/23/2021		13:45:00		Analyzed 973913	
								09/28/2021	
								21:02:00	
								JAB	
Parameter		Results		Units		RL		Flags	
CAS								Bottle	
NELAC Aluminum, Total		0.0195		mg/L		0.005		7429-90-5	
								03	
EPA 300.0 2.1		Prepared: 972376		09/17/2021		16:21:00		Analyzed 972376	
								09/17/2021	
								16:21:00	
								MDE	
Parameter		Results		Units		RL		Flags	
CAS								Bottle	



Report Page 3 of 19

HWW1-G

Page 2 of 4

Holly Water Wells
Linda Woods
2928 SH 19
Huntsville, TX 77320

Project
981476

Printed: 09/30/2021

2024049 DOS AGUAS Well Short List

Received: 09/17/2021

Drinking Water

Collected by: MRB

Ana-Lab

PO:

Taken: 09/16/2021

11:50:00

EPA 300.0 2.1		Prepared:	972376	09/17/2021	16:21:00	Analyzed	972376	09/17/2021	16:21:00	MDE
Parameter	Results	Units	RL	Flags	CAS	Bottle				
NELAC Fluoride	0.082	mg/L	0.100	J		01				
EPA 300.0 2.1		Prepared:	972378	09/17/2021	16:21:00	Analyzed	972378	09/17/2021	16:21:00	MDE
Parameter	Results	Units	RL	Flags	CAS	Bottle				
NELAC DW Nitrate-Nitrogen Total	0.788	mg/L	0.0304		14797-55-8	01				
NELAC DW Nitrite-Nitrogen, Total	<0.020	mg/L	0.020			01				
EPA 300.0 2.1		Prepared:	972853	09/20/2021	21:27:00	Analyzed	972853	09/20/2021	21:27:00	MDE
Parameter	Results	Units	RL	Flags	CAS	Bottle				
NELAC Chloride	31.4	mg/L	3.00			01				
NELAC Sulfate	12.9	mg/L	3.00			01				
SM 2320 B-2011		Prepared:	973574	09/27/2021	08:00:00	Analyzed	973574	09/27/2021	08:00:00	API
Parameter	Results	Units	RL	Flags	CAS	Bottle				
z Total Alkalinity (as CaCO3)	195	mg/L	1.00			01				
SM 2540 C-2011		Prepared:	972911	09/21/2021	08:45:00	Analyzed	972911	09/21/2021	08:45:00	PCH
Parameter	Results	Units	RL	Flags	CAS	Bottle				
NELAC Total Dissolved Solids	276	mg/L	10.0			01				
SM 4500-H+ B-2011		Prepared:	972130	09/16/2021	11:50:00	Analyzed	972130	09/16/2021	11:50:00	MRB
Parameter	Results	Units	RL	Flags	CAS	Bottle				
z pH (Onsite)	7.3	SU								

Sample Preparation

2024049 DOS AGUAS Well Short List

Received: 09/17/2021

09/16/2021



Report Page 4 of 19

981475 CoC Print Group 001 of 001



Eaton Analytical

110 South Hill Street
South Bend, IN 46617
Tel: (574) 233-4777
Fax: (574) 233-8207
1 800 332 4345

Laboratory Report

Client: Ana-Lab

Attn: Tayna Chitwood
2600 Dudley Road
Kilgore, TX 75662

Report: 529029
Priority: Standard Written
Status: Final
PWS ID: Not Supplied

Sample Information					
EEA ID #	Client ID	Method	Collected Date / Time	Collected By:	Received Date / Time
4997912	HWW1-G-4 179	200.8	08/19/21 09:30	Client	08/26/21 15:20
4997913	HWW1-G-4 179	7500-Ra B	08/19/21 09:30	Client	08/26/21 15:20
4997913	HWW1-G-4 179	7500-Ra D	08/19/21 09:30	Client	08/26/21 15:20
4997914	HWW1-G-4 179	7110 B	08/19/21 09:30	Client	08/26/21 15:20
Report Summary					

Detailed quantitative results are presented on the following pages. The results presented relate only to the samples provided for analysis.

We appreciate the opportunity to provide you with this analysis. If you have any questions concerning this report, please do not hesitate to call Traci Chlebowski at (574) 233-4777.

Note: This report may not be reproduced, except in full, without written approval from EEA. EEA is accredited by the National Environmental Laboratory Accreditation Program (NELAP).

Tayna Chitwood
Authorized Signature
Client Name: Ana-Lab
Report #: 529029

Title

09/04/2021
Date

Attachment 1M

Jon Niemann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



PWS_1700917_CO_20210225_Plan Ltr

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

February 25, 2021

Mr. Michael W. Mathena, P.E.
Spear Point Engineering, LLC.
204 West Montgomery Street
Willis, TX 77378

Re: Dos Aguas - Public Water System ID No. 1700917
Proposed Well and Water Plant No. 1
Engineer Contact Telephone: (956) 245-2547
Plan Review Log No. P-01292021-184
Montgomery County, Texas

CN: 605857093; RN: 111188272

Dear Mr. Mathena:

On January 29, 2021, the Texas Commission of Environmental Quality (TCEQ) received planning material with your email dated January 29, 2021 for the proposed well and Water Plant No. 1. Based on our review of the information submitted, the project generally meets the minimum requirements of Title 30 Texas Administrative Code (TAC) Chapter 290 - Rules and Regulations for Public Water Systems and is **conditionally approved for construction** if the project plans and specifications meet the following requirement(s):

Corrosive indices will be used to calculate corrosivity of the water from new source(s). Corrosive or aggressive water could result in aesthetic problems, increased levels of toxic metals, and deterioration of household plumbing and fixtures. **If the water appears to be corrosive**, the system will be required to conduct a study and submit an engineering report that addresses corrosivity issues or may choose to install corrosion control treatment **before use may be granted**. All changes in treatment require submittal of plans and specifications for approval by TCEQ.

Texas Water Code Section 36.0015 allows for the creation of groundwater conservation districts (GCDs) as the preferred method of groundwater management. GCDs manage groundwater in many counties and are authorized to regulate production and spacing of water wells. **Public water systems drilling wells within an existing GCD are responsible for meeting the GCD's requirements**. The authorization provided in this letter does not affect GCD authority to manage groundwater or issue permits.

The design engineer or water system representative is required to notify the Plan Review Team in writing by fax at (512) 239-6972 or by emailing Craig.Stowell@Tceq.Texas.Gov and cc: vera.poe@tceq.texas.gov at least 48 hours before the well casing pressure cementing begins. If pressure cementing is to begin on Monday, then they must give notification on the preceding Thursday. If pressure cementing is to begin on Tuesday, then they must give notification on the preceding Friday.

The TCEQ does not approve this well for use as a public water supply at this time. We have enclosed a copy of the "Public Well Completion Data Checklist for Approval to Use (Step 2)". We provide this checklist to help you in obtaining approval to use this well.

The submittal consisted of 12 sheets of engineering drawings, technical specifications and an engineering summary. The proposed project consists of:

- One (1) public water supply well drilled to 905 feet with 540 linear feet (lf) of 10-inch outside diameter (od) steel casing and pressure-cemented 540 lf;
- 175 lf of 6-inch od stainless steel screen, 165 lf of 6-inch od blank liner, with underream approximately 400 lf gravel pack;
- The well is rated for 175 gallons per minute (gpm) yield with a 25 horsepower, 4-inch, submersible pump set at 350 feet deep. The design capacity of the pump is 200 gpm at 180 feet total dynamic head;
- Three (3) 200 gpm high service pumps;
- One (1) 35,000-gallon American Water Works Association Standard D103, galvanized factory- bolted steel tank;
- One (1) 3,000-gallon, American Society of Mechanical Engineers Section VIII, Division 1, hydropneumatic pressure tank;
- One (1) Gas chlorination system including two 150lb gas cylinders, scales, vacuum feed regulators, and ejectors with associated piping, valves and controls;
- Various valves, piping, fittings, and appurtenances;
- Intrude resistant fence; and,
- All weather access road.

This approval is for the construction of the above listed items only. Any wastewater components contained in this design were not considered. The authorization provided in this letter does not relieve a Public Water System from the need to comply with other applicable state and federal regulations.

The Dos Aguas public water system provides water treatment.

The project is located 1-mile south of the intersection of Farm-to-Market Road 1097 and Carroll Lane in Montgomery County, Texas.

An appointed engineer must notify the TCEQ's Region 12 Office in Houston at (713) 767-3500 when construction will start. Please keep in mind that upon completion of the water works project, the engineer or owner will notify the commission's Water Supply Division, in writing, as to its completion and attest to the fact that the completed work is substantially in accordance with the plans and change orders on file with the commission as required in 30 TAC §290.39(h)(3).

Please refer to the Plan Review Team's Log No. **P-01292021-184** in all correspondence for this project.

Please complete a copy of the most current Public Water System Plan Review Submittal form for any future submittals to TCEQ. Every blank on the form must be completed to minimize any delays in the review of your project. The document is available on TCEQ's website at the address shown below. You can also download the most current plan submittal checklists and forms from the same address.

Mr. Michael W. Mathena, P.E.
Page 3
February 25, 2021

<https://www.tceq.texas.gov/drinkingwater/udpubs.html>

For future reference, you can review part of the Plan Review Team's database to see if we have received your project. This is available on TCEQ's website at the following address:

<https://www.tceq.texas.gov/drinkingwater/planrev.html/#status>

You can download the latest revision of 30 TAC Chapter 290 - Rules and Regulations for Public Water Systems from this site.

If you have any questions concerning this letter or need further assistance, please contact Mr. Craig A. Stowell, P.E. at (512) 239-4633 or by email at craig.stowell@tceq.texas.gov or by correspondence at the following address:

Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

Sincerely,



Craig A. Stowell, P.E.
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality



Vera Poe, P.E., Team Leader
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality

VP/CAS/av

Enclosure: Public Well Completion Data Checklist for Approval to Use (Step 2)

cc: Dos Aguas, Attn: Mr. Scott Rohe, President, 455 Farm-to-Market Road 2296, Huntsville,
TX 77340

Mr. Michael W. Mathena, P.E.

Page 4

February 25, 2021

bcc: TCEQ Central Records PWS File 1700917 (P-01292021-184/Dos Aguas)
TCEQ Region No. 12 Office - Houston
TCEQ PWSINVEN, MC-155

Public Well Completion Data Checklist for Approval to Use (Step 2)

Texas Commission on Environmental Quality
Water Supply Division
Plan Review Team MC-159
P.O. Box 13087, Austin, Texas 78711-3087

Public Water System I.D. No. _____
TCEQ Log No. P- _____

The following list is a brief outline of the "Rules for Public Water Systems", 30 TAC Chapter 290 regarding proposed Water Supply Well Completion. Failure to submit the following items may delay project approval. Copies of the rules may be obtained from Texas Register, 1019 Brazos St, Austin, TX, 78701-2413, Phone: (512) 463-5561 or downloaded from the website: <http://www.tceq.texas.gov/rules/indxpathdf.html>

Any well proposed as a source of water for a public water supply must have plans approved for construction by TCEQ. Please include the well construction approval letter with your submittal of well completion data listed below for TCEQ evaluation. Based on review of this submitted data, approval may be given for use of the well.

1. ☐ Site map(s) at appropriate scales showing the following: [§290.41(c)(3)(A)]
 - ☐ (i) Final location of the well with coordinates;
 - ☐ (ii) Named roadways;
 - ☐ (iii) All property boundaries within 150 feet of the final well location and the property owners' names;
 - ☐ (iv) Concentric circles with the final well location as the center point with radii of 10 feet, 50 feet, 150 feet, and ¼ mile;
 - ☐ (v) Any site improvements and existing buildings;
 - ☐ (vi) Any existing or potential pollution hazards; and
 - ☐ (vii) Map must be scalable with a north arrow.
2. ☐ A copy of the recorded deed of the property on which the well is located showing the Public Water System (PWS) as the landowner, and/or any of the following:
[§290.41(c)(1)(F)(iv)]
 - ☐ (i) Sanitary control easements (filed at the county courthouse and bearing the county clerk's stamp) covering all land within 150 feet of the well not owned by the PWS (for a sample easement see TCEQ Form 20698);
 - ☐ (ii) For a political subdivision, a copy of an ordinance or land use restriction adopted and enforced by the political subdivision which provides an equivalent or higher level of sanitary protection to the well as a sanitary control easement; and/or
 - ☐ (iii) A copy of a letter granting an exception to the sanitary control easement rule issued by TCEQ's Technical Review and Oversight Team.
3. ☐ Construction data on the completed well: [§290.41(c)(3)(A)]
 - ☐ (i) Final installed pump data including capacity in gallons per minute (gpm), total dynamic head (tdh) in feet, motor horsepower, and setting depth;
 - ☐ (ii) Bore hole diameter(s) (must be 3" larger than casing OD) and total well depth;
 - ☐ (iii) Casing size, length, and material (e.g. 200 lf of 12" PVC ASTM F480 SDR-17);
 - ☐ (iv) Length and material of any screens, blanks, and/or gravel packs utilized;
 - ☐ (v) Cementing depth and pressure method (one of the methods in latest revision of AWWA Standard A-100, Appendix C, excluding the dump bailer and tremie methods);
 - ☐ (vi) Driller's geologic log of strata penetrated during the drilling of the well;
 - ☐ (vii) Cementing certificate; and

Public Well Completion Data Checklist for Approval to Use (Step 2)

- ☐ (viii) Copy of the official State of Texas Well Report (some of the preceding data is included on the Well Report).
4. ☐ A U.S. Geological Survey 7.5-minute topographic quadrangle map (include quadrangle name and number) or a legible copy showing the location of the completed well; [§290.41(c)(3)(A)]
5. ☐ Record of a 36-hour continuous pump test on the well showing stable production at the well's rated capacity. Include the following: [§290.41(c)(3)(G)]
- ☐ (i) Test pump capacity in gpm, tdh in feet, and horsepower of the pump motor;
 - ☐ (ii) Test pump setting depth;
 - ☐ (iii) Static water level (in feet); and
 - ☐ (iv) Draw down (in feet).
6. ☐ Three bacteriological analysis reports for samples collected on three successive days showing raw well water to be free of coliform organisms. Reports must be for samples of raw (untreated) water from the disinfected well and submitted to a laboratory accredited by TCEQ, accredited to perform these test; and [§290.41(c)(3)(F)(i)]
7. ☐ Chemical analysis reports for well water samples showing the water to be of acceptable quality for the most problematic contaminants listed below. Reports must come from a laboratory accredited by TCEQ; accredited to perform these tests. Maximum contaminant level (MCL) and secondary constituent level (SCL) units are in milligrams per liter (except arsenic which is in micrograms per liter). [§290.41(c)(3)(G) and §290.104 and §290.105]

Table 1: Primary Constituents with Maximum Contaminant Level (MCL)

PRIMARY	MCL
Nitrate	10 (as N)
Nitrite	1 (as N)
Arsenic	10
Fluoride	4.0

Table 2: Secondary Constituents with Secondary Contaminant Level (SCL)

SECONDARY	SCL
Aluminum	0.2
Copper	1.0
Iron	0.3
Manganese	0.05
Zinc	5.0
Total Dissolved Solids	1,000
Fluoride	2.0
Sulfate	300
Chloride	300
pH	> 7.0

Public Well Completion Data Checklist for Approval to Use (Step 2)

Table 3: Water Quality Parameters

PARAMETER	UNITS
Alkalinity as CaCO ₃	mg/L
Calcium as CaCO ₃	mg/L
Sodium	mg/L
Lead*	mg/L

Lead is regulated by the lead and copper rule. This analyte is to document the amount of lead in the source water. The level shall be less than 0.010 mg/L for approval to use.

All systems located in a high-risk county (see page 3) shall submit radiological analysis reports for water samples showing the water to be of acceptable quality for the contaminants listed below. Reports must come from a TCEQ accredited laboratory for approval to use of the well.

Table 4: Radionuclides with Maximum Contaminant Level (MCL)

CONTAMINANT	MCL
Gross alpha	15 pCi/L
Radium-226/228	5 pCi/L
Beta particle	50 pCi/L
Uranium	30 µg/L

WHERE: pCi/L = pico curies per liter, µg/L = micrograms per liter

Please be aware when you review your radiological data that if the report has gross alpha over 15 pCi/L and individual uranium isotopes are not reported, you will have to resample or reanalyze and resubmit radionuclide results. If you see gross alpha plus radium-228 over 5 pCi/L, and don't have radium-226, you will have to resample or reanalyze and resubmit complete results.

List of Counties Where Radionuclide Testing Is required

Please be aware that we have added the requirement for analysis for radionuclides for high risk counties. For elevated levels of any contaminants found in a test well, treatment or blending may be required.

Table 5: List of Counties where Radionuclide Testing is required

COUNTY				
Atascosa	Bandera	Bexar	Bosque	Brazoria
Brewster	Burnet	Concho	Culberson	Dallam
Dawson	Erath	Fort Bend	Frio	Garza
Gillespie	Gray	Grayson	Harris	Hudspeth
Irion	Jeff Davis	Jim Wells	Kendall	Kent
Kerr	Kleberg	Liberty	Llano	Lubbock
McCulloch	Mason	Matagorda	Medina	Midland
Montgomery	Moore	Parker	Pecos	Polk
Presidio	Refugio	San Jacinto	San Saba	Tarrant
Travis	Tyler	Upton	Val Verde	Victoria
Walker	Washington	Wichita	Williamson	Zavala

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



PWS_1700917_CO_20210225_Plan Ltr

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY
Protecting Texas by Reducing and Preventing Pollution

February 25, 2021

Mr. Michael W. Mathena, P.E.
Spear Point Engineering, LLC.
204 West Montgomery Street
Willis, TX 77378

Re: Dos Aguas - Public Water System ID No. 1700917
Proposed Well and Water Plant No. 2
Engineer Contact Telephone: (956) 245-2547
Plan Review Log No. P-01292021-185
Montgomery County, Texas

CN: 605857093; RN: 111188272

Dear Mr. Mathena:

On January 29, 2021, the Texas Commission of Environmental Quality (TCEQ) received planning material, with your email dated January 29, 2021, for the proposed well and Water Plant No. 2. Based on our review of the information submitted, the project generally meets the minimum requirements of Title 30 Texas Administrative Code (TAC) Chapter 290 - Rules and Regulations for Public Water Systems and is **conditionally approved for construction** if the project plans and specifications meet the following requirement(s):

Corrosive indices will be used to calculate corrosivity of the water from new source(s). Corrosive or aggressive water could result in aesthetic problems, increased levels of toxic metals, and deterioration of household plumbing and fixtures. **If the water appears to be corrosive**, the system will be required to conduct a study and submit an engineering report that addresses corrosivity issues or may choose to install corrosion control treatment **before use may be granted**. All changes in treatment require submittal of plans and specifications for approval by TCEQ.

Texas Water Code Section 36.0015 allows for the creation of groundwater conservation districts (GCDs) as the preferred method of groundwater management. GCDs manage groundwater in many counties and are authorized to regulate production and spacing of water wells. **Public water systems drilling wells within an existing GCD are responsible for meeting the GCD's requirements.** The authorization provided in this letter does not affect GCD authority to manage groundwater or issue permits.

The design engineer or water system representative is required to notify the Plan Review Team in writing by fax at (512) 239-6972 or by emailing Craig.Stowell@Tceq.Texas.Gov and cc: vera.poe@tceq.texas.gov at least 48 hours before the well casing pressure cementing begins. If pressure cementing is to begin on Monday, then they must give notification on the preceding Thursday. If pressure cementing is to begin on Tuesday, then they must give notification on the preceding Friday.

The TCEQ does not approve this well for use as a public water supply at this time. We have enclosed a copy of the "Public Well Completion Data Checklist for Approval to Use (Step 2)". We provide this checklist to help you in obtaining approval to use this well.

The submittal consisted of 12 sheets of engineering drawings, technical specifications and an engineering summary. The proposed project consists of:

- One (1) public water supply well drilled to 944 feet with 589 linear feet (lf) of 10-inch outside diameter (od) steel casing and pressure-cemented 589 lf;
- 175 lf of 6-inch od stainless steel screen, 165 lf of 6-inch od blank liner, with underream approximately 400 lf gravel pack;
- The well is rated for 175 gallons per minute (gpm) yield with a 25 horsepower, 4-inch, submersible pump set at 399 feet deep. The design capacity of the pump is 175 gpm at 38 feet total dynamic head;
- Three (3) 200 gpm high service pumps;
- One (1) 35,000-gallon American Water Works Association Standard D103, galvanized factory-bolted steel tank;
- One (1) 3,000-gallon, American Society of Mechanical Engineers Section VIII, Division 1, hydropneumatic pressure tank;
- One (1) Gas chlorination system including two 150lb gas cylinders, scales, vacuum feed regulators, and ejectors with associated piping, valves and controls;
- Various valves, piping, fittings, and appurtenances;
- Intrude resistant fence; and,
- All weather access road.

This approval is for the construction of the above listed items only. Any wastewater components contained in this design were not considered. The authorization provided in this letter does not relieve a Public Water System from the need to comply with other applicable state and federal regulations.

The Dos Aguas public water system provides water treatment.

The project is located ½ mile south of the intersection of Farm-to-Market Road 1097 and Texas State Highway 150 in Montgomery County, Texas.

An appointed engineer must notify the TCEQ's Region 12 Office in Houston at (713) 767-3500 when construction will start. Please keep in mind that upon completion of the water works project, the engineer or owner will notify the commission's Water Supply Division, in writing, as to its completion and attest to the fact that the completed work is substantially in accordance with the plans and change orders on file with the commission as required in 30 TAC §290.39(h)(3).

Please refer to the Plan Review Team's Log No. **P-01292021-185** in all correspondence for this project.

Mr. Michael W. Mathena, P.E.
Page 3
February 25, 2021

Please complete a copy of the most current Public Water System Plan Review Submittal form for any future submittals to TCEQ. Every blank on the form must be completed to minimize any delays in the review of your project. The document is available on TCEQ's website at the address shown below. You can also download the most current plan submittal checklists and forms from the same address.

<https://www.tceq.texas.gov/drinkingwater/udpubs.html>

For future reference, you can review part of the Plan Review Team's database to see if we have received your project. This is available on TCEQ's website at the following address:

<https://www.tceq.texas.gov/drinkingwater/planrev.html/#status>

You can download the latest revision of 30 TAC Chapter 290 - Rules and Regulations for Public Water Systems from this site.

If you have any questions concerning this letter or need further assistance, please contact Mr. Craig A. Stowell, P.E. at (512) 239-4633 or by email at craig.stowell@tceq.texas.gov or by correspondence at the following address:

Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

Sincerely,



Craig A. Stowell, P.E.
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality



Vera Poe, P.E., Team Leader
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality

VP/CAS/av

Enclosure: Public Well Completion Data Checklist for Approval to Use (Step 2)

cc: Dos Aguas, Attn: Mr. Scott Rohe, President, 455 Farm-to-Market Road 2296, Huntsville, TX 77340

Mr. Michael W. Mathena, P.E.

Page 4

February 25, 2021

bcc: TCEQ Central Records PWS File 1700917 (P-01292021-185/Dos Aguas)
TCEQ Region No. 12 Office - Houston
TCEQ PWSINVEN, MC-155

Public Well Completion Data Checklist for Approval to Use (Step 2)

Texas Commission on Environmental Quality
Water Supply Division
Plan Review Team MC-159
P.O. Box 13087, Austin, Texas 78711-3087

Public Water System I.D. No. _____
TCEQ Log No. P- _____

The following list is a brief outline of the "Rules for Public Water Systems", 30 TAC Chapter 290 regarding proposed Water Supply Well Completion. Failure to submit the following items may delay project approval. Copies of the rules may be obtained from Texas Register, 1019 Brazos St, Austin, TX, 78701-2413, Phone: (512) 463-5561 or downloaded from the website: <http://www.tceq.texas.gov/rules/indxpathdf.html>

Any well proposed as a source of water for a public water supply must have plans approved for construction by TCEQ. Please include the well construction approval letter with your submittal of well completion data listed below for TCEQ evaluation. Based on review of this submitted data, approval may be given for use of the well.

1. ☐ Site map(s) at appropriate scales showing the following: [§290.41(c)(3)(A)]
 - ☐ (i) Final location of the well with coordinates;
 - ☐ (ii) Named roadways;
 - ☐ (iii) All property boundaries within 150 feet of the final well location and the property owners' names;
 - ☐ (iv) Concentric circles with the final well location as the center point with radii of 10 feet, 50 feet, 150 feet, and ¼ mile;
 - ☐ (v) Any site improvements and existing buildings;
 - ☐ (vi) Any existing or potential pollution hazards; and
 - ☐ (vii) Map must be scalable with a north arrow.
2. ☐ A copy of the recorded deed of the property on which the well is located showing the Public Water System (PWS) as the landowner, and/or any of the following:
[§290.41(c)(1)(F)(iv)]
 - ☐ (i) Sanitary control easements (filed at the county courthouse and bearing the county clerk's stamp) covering all land within 150 feet of the well not owned by the PWS (for a sample easement see TCEQ Form 20698);
 - ☐ (ii) For a political subdivision, a copy of an ordinance or land use restriction adopted and enforced by the political subdivision which provides an equivalent or higher level of sanitary protection to the well as a sanitary control easement; and/or
 - ☐ (iii) A copy of a letter granting an exception to the sanitary control easement rule issued by TCEQ's Technical Review and Oversight Team.
3. ☐ Construction data on the completed well: [§290.41(c)(3)(A)]
 - ☐ (i) Final installed pump data including capacity in gallons per minute (gpm), total dynamic head (tdh) in feet, motor horsepower, and setting depth;
 - ☐ (ii) Bore hole diameter(s) (must be 3" larger than casing OD) and total well depth;
 - ☐ (iii) Casing size, length, and material (e.g. 200 lf of 12" PVC ASTM F480 SDR-17);
 - ☐ (iv) Length and material of any screens, blanks, and/or gravel packs utilized;
 - ☐ (v) Cementing depth and pressure method (one of the methods in latest revision of AWWA Standard A-100, Appendix C, excluding the dump bailer and tremie methods);
 - ☐ (vi) Driller's geologic log of strata penetrated during the drilling of the well;
 - ☐ (vii) Cementing certificate; and

Public Well Completion Data Checklist for Approval to Use (Step 2)

- ☐ (viii) Copy of the official State of Texas Well Report (some of the preceding data is included on the Well Report).
4. ☐ A U.S. Geological Survey 7.5-minute topographic quadrangle map (include quadrangle name and number) or a legible copy showing the location of the completed well; [§290.41(c)(3)(A)]
5. ☐ Record of a 36-hour continuous pump test on the well showing stable production at the well's rated capacity. Include the following: [§290.41(c)(3)(G)]
- ☐ (i) Test pump capacity in gpm, tdh in feet, and horsepower of the pump motor;
 - ☐ (ii) Test pump setting depth;
 - ☐ (iii) Static water level (in feet); and
 - ☐ (iv) Draw down (in feet).
6. ☐ Three bacteriological analysis reports for samples collected on three successive days showing raw well water to be free of coliform organisms. Reports must be for samples of raw (untreated) water from the disinfected well and submitted to a laboratory accredited by TCEQ, accredited to perform these test; and [§290.41(c)(3)(F)(i)]
7. ☐ Chemical analysis reports for well water samples showing the water to be of acceptable quality for the most problematic contaminants listed below. Reports must come from a laboratory accredited by TCEQ; accredited to perform these tests. Maximum contaminant level (MCL) and secondary constituent level (SCL) units are in milligrams per liter (except arsenic which is in micrograms per liter). [§290.41(c)(3)(G) and §290.104 and §290.105]

Table 1: Primary Constituents with Maximum Contaminant Level (MCL)

PRIMARY	MCL
Nitrate	10 (as N)
Nitrite	1 (as N)
Arsenic	10
Fluoride	4.0

Table 2: Secondary Constituents with Secondary Contaminant Level (SCL)

SECONDARY	SCL
Aluminum	0.2
Copper	1.0
Iron	0.3
Manganese	0.05
Zinc	5.0
Total Dissolved Solids	1,000
Fluoride	2.0
Sulfate	300
Chloride	300
pH	> 7.0

Public Well Completion Data Checklist for Approval to Use (Step 2)

Table 3: Water Quality Parameters

PARAMETER	UNITS
Alkalinity as CaCO ₃	mg/L
Calcium as CaCO ₃	mg/L
Sodium	mg/L
Lead*	mg/L

Lead is regulated by the lead and copper rule. This analyte is to document the amount of lead in the source water. The level shall be less than 0.010 mg/L for approval to use.

All systems located in a high-risk county (see page 3) shall submit radiological analysis reports for water samples showing the water to be of acceptable quality for the contaminants listed below. Reports must come from a TCEQ accredited laboratory for approval to use of the well.

Table 4: Radionuclides with Maximum Contaminant Level (MCL)

CONTAMINANT	MCL
Gross alpha	15 pCi/L
Radium-226/228	5 pCi/L
Beta particle	50 pCi/L
Uranium	30 µg/L

WHERE: pCi/L = pico curies per liter, µg/L = micrograms per liter

Please be aware when you review your radiological data that if the report has gross alpha over 15 pCi/L and individual uranium isotopes are not reported, you will have to resample or reanalyze and resubmit radionuclide results. If you see gross alpha plus radium-228 over 5 pCi/L, and don't have radium-226, you will have to resample or reanalyze and resubmit complete results.

List of Counties Where Radionuclide Testing Is required

Please be aware that we have added the requirement for analysis for radionuclides for high risk counties. For elevated levels of any contaminants found in a test well, treatment or blending may be required.

Table 5: List of Counties where Radionuclide Testing is required

COUNTY				
Atascosa	Bandera	Bexar	Bosque	Brazoria
Brewster	Burnet	Concho	Culberson	Dallam
Dawson	Erath	Fort Bend	Frio	Garza
Gillespie	Gray	Grayson	Harris	Hudspeth
Irion	Jeff Davis	Jim Wells	Kendall	Kent
Kerr	Kleberg	Liberty	Llano	Lubbock
McCulloch	Mason	Matagorda	Medina	Midland
Montgomery	Moore	Parker	Pecos	Polk
Presidio	Refugio	San Jacinto	San Saba	Tarrant
Travis	Tyler	Upton	Val Verde	Victoria
Walker	Washington	Wichita	Williamson	Zavala

Jon Niermann, *Chairman*
Emily Lindley, *Commissioner*
Bobby Janecka, *Commissioner*
Toby Baker, *Executive Director*



PWS_1700917_CO_20210603_Plan Ltr

TEXAS COMMISSION ON ENVIRONMENTAL QUALITY

Protecting Texas by Reducing and Preventing Pollution

June 3, 2021

Mr. Brett Wyant, P.E.
Spear Point Engineering, LLC
604 West Worsham Street, Suite 100
Willis, TX 77378

Re: Dos Aguas - Public Water System ID No. 1700917
Proposed Distribution System - Republic Grand Ranch and Deer Forest Deveopment
Engineer Contact Telephone: (956) 245-2547
Plan Review Log No. P-04262021-179
Montgomery County, Texas

CN605857093; RN111188272

Dear Mr. Wyant:

On April 26, 2021, the Texas Commission on Environmental Quality (TCEQ) received planning material with your letter dated April 26, 2021 for the proposed distribution system - Republic Grand Ranch and Deer Forest Deveopment. Based on our review of the information submitted, the project generally meets the minimum requirements of Title 30 Texas Administrative Code (TAC) Chapter 290 - Rules and Regulations for Public Water Systems and is **conditionally approved for construction** if the project plans and specifications meet the following requirement(s):

Dos Aguas (PWS 1700917) does not have adequate plant capacity approved by the TCEQ for the number of connections proposed in the submitted distribution systems. Dos Aguas must increase the approved water treatment plant capacity in accordance with **\$290.45** before these lots are developed in order to meet capacity requirements.

The submittal consisted of 7 sheets of engineering drawings and technical specifications. The approved project consists of:

- 9,312 linear feet of 4-inch, American Society for Testing Materials (ASTM) Standard D2241, standard dimension ratio (SDR) 26, polyvinyl chloride (PVC) pipe;
- 13,180 linear feet of 6-inch, ASTM Standard D2241, SDR 26, PVC pipe;
- 201,240 linear feet of 8-inch, ASTM Standard D2241, SDR 26, PVC pipe;
- Service Lines: 1-inch, ASTM Standard D1248, SDR 9, polyethylene; and
- All associated valves, fittings, and appurtenances.

Mr. Brett Wyant, P.E.
Page 2
June 3, 2021

This approval is for the construction of the above listed items only. Any wastewater components contained in this design were not considered. The authorization provided in this letter does not relieve a Public Water System from the need to comply with other applicable state and federal regulations.

The Dos Aguas public water supply system provides water treatment.

The project is located at the intersection of Tanyard Road and Farm-to-Market Road 1097 in Montgomery County, Texas.

An appointed engineer must notify the TCEQ's Region 12 Office in Houston at (713) 767-3500 when construction will start. Please keep in mind that upon completion of the water works project, the engineer or owner will notify the commission's Water Supply Division, in writing, as to its completion and attest to the fact that the completed work is substantially in accordance with the plans and change orders on file with the commission as required in 30 TAC §290.39(h)(3).

Please refer to the Plan Review Team's Log No. **P-04262021-179** in all correspondence for this project.

Please complete a copy of the most current Public Water System Plan Review Submittal form for any future submittals to TCEQ. Every blank on the form must be completed to minimize any delays in the review of your project. The document is available on TCEQ's website at the address shown below. You can also download the most current plan submittal checklists and forms from the same address.

<https://www.tceq.texas.gov/drinkingwater/udpubs.html>

For future reference, you can review part of the Plan Review Team's database to see if we have received your project. This is available on TCEQ's website at the following address:

<https://www.tceq.texas.gov/drinkingwater/planrev.html/#status>

You can download the latest revision of 30 TAC Chapter 290 - [Rules and Regulations for Public Water Systems](#) from this site.

Mr. Brett Wyant, P.E.
Page 3
June 3, 2021

If you have any questions concerning this letter or need further assistance, please contact Mr. Franklin Adams at (512) 239-4648 or by email at Franklin.Adams@Tceq.Texas.Gov. If you are unable to contact Mr. Adams, please contact another member of the Plan Review Team at (512) 239-4691 or by correspondence at the following address:

Plan Review Team, MC-159
Texas Commission on Environmental Quality
P.O. Box 13087
Austin, Texas 78711-3087

Sincerely,



Craig A. Stowell, P.E.
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality



Vera Poe, P.E., Team Leader
Plan Review Team
Plan and Technical Review Section
Water Supply Division
Texas Commission on Environmental Quality

VP/CAS/fa/av

cc: Dos Aguas, Attn: Mr. Scott Rohn, 455 Farm-to-Market Road 2296, Huntsville, TX 77340-2424

Mr. Brett Wyant, P.E.

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June 3, 2021

bcc: TCEQ Central Records PWS File 1700917 (P-04262021-179/Dos Aguas)
TCEQ Region No. 12 Office - Houston
TCEQ PWSINVEN, MC-155